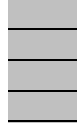




Village of Bellevue
Plan Commission Meeting
TUESDAY, JUNE 15, 2021
Village Hall/Public Safety Building
3100 Eaton Road
6:00 PM

ROLL CALL:

Steve Soukup, Chairman
Paul Hamachek, Vice Chair/Secretary
Paul Carron
Mark Janowski



Greg Layton
Cisco Rosales
Mark Roznowski



I. 6:00 PM CALL MEETING TO ORDER

1. Pledge of Allegiance
2. Approval of Agenda

II. CONSENT ITEMS

These items consist of non-controversial or "housekeeping" items required by law. Any Commission member making such request prior to a motion and vote on the Consent items may consider items individually.

3. Consider/Discuss/Act on the Minutes of the May 18, 2021, Plan Commission Meeting.
4. Consider/Discuss/Act on the Minutes of the June 2, 2021, Special Plan Commission Meeting.

III. REGULAR ITEMS

4. PDD 2021-0008 – Consider/Discuss/Act on the request by Steve Bieda, Mau & Associates, LLP, Petitioner, on behalf of Paul Kosmoski, Moski Corporation, Owner for approval of a Preliminary/Final Planned Development District (PDD) to adjust the space and area requirements of the R-1 – Single-Family Residential District for a portion of Parcel B-2882 located west of Huron Road (County Highway EA), approximately 485' north of Willow Road.
5. PLAT 2021-0001 - Consider/Discuss/Act on the request by the Steve Bieda, Mau & Associates, LLP, Petitioner, on behalf of Paul Kosmoski, Moski Corporation, Owner, for approval of the Preliminary Plat of Willow Grove Third Addition, 25 single-family lots located west of Huron Road (County Highway EA), approximately 485' north of Willow Road (Parcel B-2882).
6. PLAT 2021-0003 - Consider/Discuss/Act on the request by the Ryan Van Straten, Alliance Management, Petitioner, on behalf of Robert J & Erin M Hoekstra, Crystal Cove, LTD, and Bel Meadows Partners, LLP, for approval of the Final Plat of Crystal Cove Subdivision, a mixture of 14 lots located generally on the north side of Hoffman Road (County Highway XX) and west of Bellevue Street (County Highway XX) Parcels B-296, B-300, B-2506, B-2507-1, & B-2508.

IV. OTHER

7. Matters from the Public

Public comments must be limited to items NOT on the agenda. Comments will be limited to a maximum of five minutes in length. Commentators must state name and address for the record. The Plan Commission's role is to listen and not discuss/debate comments nor take action of those comments at the meeting.

8. Director's Update
9. Next scheduled meeting is for Tuesday, July 20, 2021

V. ADJOURN

Any person wishing to attend who, because of disability requires special accommodations should contact the Village Clerk at (920) 468-5225, 2828 Allouez Avenue, at least 48 hours prior to the meeting so that arrangements can be made.

Attachments or other documents referenced in this agenda are available for view or copying at the Bellevue Village Office, 2828 Allouez Avenue, during normal business hours, or by contacting the Community Development Department at (920) 468-5225.

Please take notice that members of the Village Board may attend the Plan Commission meeting, resulting in a majority or quorum of the Village Board. This may constitute a meeting of the Village Board for purposes of discussion and information gathering relative to this agenda, although no action will be taken by the Village Board at this meeting.

Posted and notified by Andrew Vissers, June 8th, 2021

Village of Bellevue – Plan Commission

Pursuant to Section 19.84 Wis. Stats., a scheduled regular meeting of the Village of Bellevue – Plan Commission was held on Tuesday, May 18, 2021 at 6:00 p.m. at the Bellevue Village Hall/Public Safety Building – 3100 Eaton Road, Green Bay, WI

ROLL CALL:

Steve Soukup, Chairman	x	Greg Layton	x
Paul Hamachek , Vice Chair/Secretary	x	Cisco Rosales	exc.
Paul Carron	x (remote)	Mark Roznowski	x
Mark Janowski	exc.		

Also Present: Andrew J. Vissers – Community Development Director, Michelle Du Chateau – Assistant Planner/Zoning Administrator, Todd DeVillers, Sue Tesar, Mike Tesar, Barb Lautenslager, David Van Rite, and other interested parties

I. 6:00 P.M. CALL REGULAR MEETING TO ORDER:

The meeting was called to order by Chairman Soukup at 6:00 p.m.

1. Pledge of Allegiance

2. Approval of Agenda:

Moved by G. Layton, seconded by M. Roznowski to approve the agenda.

MOTION UNANIMOUSLY APPROVED (5-0)

II. CONSENT ITEMS:

These items consist of non-controversial or “housekeeping” items required by law. Any Commission member making such request prior to a motion and vote on the Consent items may consider items individually.

3. Consider/Discuss/Act on the Minutes of the April 20, 2021 Plan Commission Meeting.

Moved by P. Hamachek, seconded by M. Roznowski to approve the minutes.

MOTION UNANIMOUSLY APPROVED (5-0)

III. REGULAR ITEMS:

NEW BUSINESS:

4. RP 2021-0001 - Consider/Discuss/Act on the request by Mitchell Vanden Bergh, owner, to rezone a portion of Parcel B-2591 from B-2 – General Business District to R-2 – Two-Family Residential District, located at 2538 Continental Court.

M. Du Chateau stated the area proposed to be rezoned is approximately 26,400 square feet of Parcel B-2591 from B-2 – General Business District to R-2 – Two-Family Residential District to establish one zoning district on the subject parcel.

M. Du Chateau indicated this portion of the lot, which was recently acquired by the applicant and attached to his existing lot, was originally part of the parcel to the north (Parcel B-96-5), located on the southwest corner of Main St and Continental Ct. In 1995, Parcel B-96-5 was part of a mass rezone which zoned the property from Commercial to B-2 – General Business District. As part of the rezone, a Conditional Use was also approved for the already existing single-family residence. Based on the property acquisition and the Conditional Use extending upon the subject parcel, staff will initiate a cleanup of the zoning map so the Conditional Use boundary corresponds with the new legal lot of record.

M. Du Chateau continued that since the subject parcel is zoned R-2 – Two-Family Residential District and contains a duplex, rezoning the newly acquired portion would be consistent with the existing use on site. Therefore, staff is supportive of the request and recommends approval.

S. Soukup clarified that the main reason this is being done is for cleanup.

M. Du Chateau stated yes, lots with split zoning especially both residential and commercial can be problematic.

Motion made by P. Hamachek and seconded by G. Layton to recommend approval of the proposed Rezoning Petition (RP 2021-0001).

MOTION UNANIMOUSLY APPROVED (5-0)

5. **OMA 2021-0001 – Consider/Discuss/Act on the request by the Village of Bellevue, Petitioner, for approval of a Resolution formally dispersing Village Owned property to the adjacent Property Owners of Parcel B-2542, Generally Located on the east side of Costco Way approximately 360’ South of Landmark Boulevard.**

A. Vissers stated Wisconsin State Statutes requires that the sale of any public lands be brought before and approved by the Plan Commission prior to any approval by the Village Board. This is not necessarily a sale but an area that was dedicated to the Village through the Van Rite Farms for a stormwater pond to serve a large area of tax Incremental Finance District No. 1 (TID # 1). As part of the development agreement signed with the owners, the Village agreed to deed back the area of property not needed for the pond or maintenance upon completion of construction.

A. Vissers indicated that occurred and is reflected on all GIS maps as now being attached to Parcel B-2542. However, the Brown County Real Property Lister indicated the community needs to pass a resolution and have it recorded to formalize this transaction (see attached e-mail). Based on the associated Certified Survey Map (CSM 2021-0002) being considered concurrently with this item, staff wanted to ensure that this formality was done to not delay the possible recording of that CSM or cause any other issues in regard to timing.

A. Vissers concluded that this is mostly a formality item as it has mostly been done but the resolution is the last item needed for Brown County.

S. Soukup asked if this has happened in the past.

A. Vissers stated it has when we sold Village owned property that was requested to be determined as surplus.

Motion made by M. Roznowski and seconded by P. Hamachek to recommend approval of the proposed Official Map Amendment (OMA 2021-0001) subject to the following conditions:

MOTION UNANIMOUSLY APPROVED (5-0)

6. CSM 2021-0002 – Consider/Discuss/Act on the request by Ryan Krumrie, Hager Dewick & Zuengler, S.C., Petitioner, on behalf of David Van Rite, Barbara Lautenslager, Susan Tesar, & Sharon Faeth, Owners, for approval of a 2-lot Certified Survey Map of Parcel B-2542, Generally located on the south side of Landmark Boulevard between Costco Way and Lime Kiln Road (County Highway V).

A. Vissers stated the proposed Certified Survey Map (CSM) is for Parcel B-2542 or Lot 6 of the Van Rite Farms plat, generally located on the south side of Landmark Boulevard between Costco Way and Lime Kiln Road (County Highway V). This parcel was created in 2013 when the Costco development was taking place and is located within the Village of Bellevue Tax Incremental Finance District No. 1 (TID #1).

A. Vissers indicated that the existing parcel has a total of 18.058 acres (786,609 square feet) and currently is undeveloped. The proposal would create two lots with a smaller lot of 3.412 acres (148,607 sf) located north of the Village of Bellevue stormwater retention pond and the remaining lot being 14.441 acres (629,056 sf) likely subdivided in the future for further development. Both the proposed lots meet the minimum space and area requirements for the PDD overlay that governs the subject property.

A. Vissers continued that the proposed CSM shows and identifies a 15' wide stormwater maintenance agreement per Van Rite Farms on the north and east side of the stormwater pond. On the Van Rite Farms plat it is identified as a 15' wide stormwater maintenance easement. Staff recommends correcting the CSM to identify this area as the easement that was recorded on the Van Rite Farms plat. This 15' wide easement should follow the new lines of the pond as a portion of property was deeded back to the owners back in 2013 at the conclusion of construction of the pond. Therefore, staff recommends that the 15' wide stormwater maintenance easement continues along L5, L6 and L7 on the proposed CSM. Staff would be open to the elimination or vacation of the easement that runs through proposed Lot 1 between Costco Way and the northern iron pipe location on L5.

A. Vissers stated that Landmark Boulevard was designed with two full access points between Costco Way and Lime Kiln Road (County Highway V). Based on the proposed lot layout, Lot 1 would have access to Costco Way and access to the westernmost full access cut on Landmark Boulevard. Proposed Lot 2 would have access to the eastern most full access cut on Landmark Boulevard and some possible direct access drives (right in/right out). There is no access to Lime Kiln Road (County Highway V) permitted. There has been recent discussion at the Village Board level regarding a request by the owners for an additional full access cut between the easternmost existing full access cut on Landmark Boulevard and Lime Kiln Road (County Highway V). Staff had concerns regarding this request and the Village Board entered into an agreement with SRF consulting to conduct a traffic analysis for the area that will include if that is a feasible request or not at their May 12, 2021 meeting. That being said, the results will not be available to the Village Board until the June 23rd meeting.

A. Vissers indicated with that, there are two recommendations regarding access that staff is recommending. the first we would recommend regardless of the results of the traffic analysis. Staff recommends that a mutual access easement be provided between proposed Lot 1 and proposed Lot 2. It is staff's belief that proposed Lot 2 will be further divided in the future and as access is limited on Landmark Boulevard for traffic flow and level of service there will need to be an interconnected access drive network to ensure ease of movement between lots without vehicles having to return to Landmark Boulevard to access an adjacent parcel. It appears the property line between the proposed parcels is offset from the location of where the full access cut lies, so with that easement an exhibit shall be provided showing the location of a 24' wide access drive from the access cut through proposed Lot 1 to the property line of proposed Lot 2 at the very least. It would make sense to extend all the way east to the other full access cut to provide a mutual benefit to both properties now as there is a chance possible proposed Lot 2 does not get subdivided. As an alternative to that, a note should be provided on the CSM indicating proposed Lot 2 shall provide a continued mutual access easement upon development for the benefit of Lot 1 in case it does not get further subdivided in the future. Ideally,

we would have an overall master development plan but have not been provided with one and therefore must make decisions that might have to be adjusted later on as development starts to define how this area looks.

A. Vissers continued that the second condition is that the possible addition of another full access cut may necessitate the road cross section of Landmark Boulevard to have to be changed due to traffic conflicts and circulation. Without knowing that decision or the results of the traffic analysis or the decision of the Village Board to either grant or not grant a full access cut from what was originally planned causes staff concerns. When a property is subdivided, that is a time when the local government entity that governs a roadway can request additional right-of-way to be dedicated. Landmark Boulevard is a 90' right-of-way and could accommodate a four-lane roadway cross section but it would be tight. Therefore, staff is recommending an additional 5' of Right-of-Way be dedicated on landmark Boulevard. In the future as the north side is subdivided another 5' would be requested there as well to achieve a 100' right-of-way cross section which would provide some flexibility for future road expansion if needed (as a comparison Oneida Street is a 100' ROW but lacks on street dedicated bicycle lanes which Landmark Boulevard has now). The Costco property is already developed, so that right-of-way would need to be acquired in the future if/when needed. The time is now prior to development to have sufficient right-of-way for future road needs. Based on a requested change to access points, that could accelerate the timing of needed to upgrade the road. Without that knowledge, staff is recommending including that condition. If an action that is taken or the results suggest otherwise, this condition could be waived if the CSM is not recorded or if it has, the Village could proceed with a vacation of the right-of-way if necessary.

A. Vissers concluded that staff is recommending approval as conditioned in the staff report.

S. Soukup asked if proposed Lot 1 has access off of Costco Way and if so what type.

A. Vissers stated yes, Costco Way is a 70' ROW, 37' wide back to back street that is undivided so any driveway to Costco Way would be considered full access.

S. Soukup stated that he feels that proposed Lot 1 is a nice location but wondered if it is set up to be developed.

P. Hamachek stated he thought it was a nice sized parcel.

Motion made by P. Hamachek and seconded by G. Layton to recommend approval of the proposed Certified Survey Map (CSM 2021-0002) subject to the following conditions:

1. Review, approval, and signature from Brown County Planning Commission.
2. All easements as required by reviewing agencies.
3. Correct the 15' Wide Stormwater Maintenance Easement on Page 1 and 3 of the CSM.
4. Provide a 15' Wide Stormwater Maintenance Easement along L5, L6, and L7.
5. Dedication of an additional 5' of ROW for Landmark Boulevard
6. Provide a 24' cross access easement between proposed Lot 1 and Proposed Lot 2 at the westernmost full access cut location on Landmark Boulevard and provide an exhibit identifying where that entrance point will be located on proposed Lot 1.
7. Provide a note that Lot 2 will be required to extend the Mutual Access easement upon development for further subdivision for the benefit of Lot 1.

MOTION UNANIMOUSLY APPROVED (5-0)

7. **ZOA 2021-0001 - Consider/Discuss/Act on the request by the Village of Bellevue staff for a Zoning Ordinance Amendment to amend Chapter 500-300 - Definitions, Chapter 500-400 – General Regulations, Chapter 500-500 – Residential Districts and Chapter 500-2100 – Floodplain Regulations of the Village of Bellevue Zoning Code.**

M. Du Chateau stated the following is a summary of the proposed amendments:

Chapter 500-300 – Definitions

Staff is proposing definitions for earth tone colors and neutral colors. In addition, zero lot line duplex, has been changed to zero lot line dwelling and is now defined as two or more attached dwelling units since zero lot line dwellings are allowed in both the R-2 and R-3 Districts.

Chapter 500-400 – General Regulations

The setback requirements for aboveground and in-ground pools and spas have been amended to follow the requirements for accessory structures established for the zoning district in which they are located. Water gardens will maintain the 25-foot front yard setback as currently indicated in the ordinance.

Additional structural requirements for fencing around pools have been added, as well as additional regulations outlining the requirements for when fencing would not be required around a pool.

Chapter 500-500 – Residential Districts

Zero lot line duplex has been changed to zero lot line dwelling since zero lot lines could apply to more than two dwellings.

In addition, building sizes for dwellings within the R-3 District have been added to reflect the minimum floor area required for each unit.

Chapter 500-2100 – Floodplain Regulations

Per the Village's Floodplain Ordinance, any change to the base flood elevations (BFE) or any changes to the boundaries of the floodplain or floodway in the Flood Insurance Study (FIS) requires that the studies be referenced in the Village's ordinance. Therefore, the Village is amending the Floodplain Ordinance to include LOMRs (Letter of Map Revision) and CLOMRs (Conditional Letter of Map Revision), which have been approved by the DNR and FEMA.

The act of adopting the CLOMRs or LOMRs is what zones an area in or out of the floodplain. All documents associated with the LOMRs or CLOMRs are available at the Village for review.

S. Soukup asked if the painting of the Wal-Mart is in uniformity with this.

A. Vissers stated that was unique as the PDD required earth tone colors based on what they proposed at the time and that was intended to mean browns and tans. They proposed to go to grey and needed to change the PDD. This definition clears it up for the Village of Bellevue but the change in color for Wal-Mart is still in line with the PDD.

S. Soukup asked about the setbacks for water gardens and corner side yards.

A. Vissers stated that this deals with the corner side or two fronts on a street that would mean it would need to be 25' back not from a regular side yard setback.

P. Carron wanted clarification regarding fencing pools.

M. Du Chateau stated that in ground pools do need a fence unless there is a enclosure or structure that covers it that would prevent access as well as above ground pools could use the sidewalls if there is no ladder access and have at a minimum height.

S. Soukup asked about the minimum sizes for multi-family dwellings.

M. Du Chateau stated that we are putting them back in to code but have been revised to be lower as the market will dictate the success and also using minimum square footage areas in our housing code for the opportunity for more affordable units.

Motion made by M. Roznowski and seconded by P. Hamachek to recommend approval of the proposed Zoning Ordinance Amendments (ZOA 2021-0001) as proposed.

MOTION UNANIMOUSLY APPROVED (5-0)

IV. OTHER:

8. Matters from the Public

9. Director's Update – A. Vissers gave an update on items that were considered at the Village Board and asked about the possibility of scheduling a special Plan Commission Meeting for early June to accommodate a land division for a sale that needs to occur by the end of June. The Plan Commission asked for a poll to be sent with some dates and times.

S. Soukup asked about the turnaround time for building permits.

A. Vissers stated that based on the significant increase in volume over normal, we are seeing approximately a 3-week turnaround average in issuance. It is first come first serve and with more permits comes more inspections out in the field which reduces office review time. We continue to monitor things to ensure this is just an anomaly versus a steady trend for the long-term which would then lead to a possible staffing discussion. It's good to be busier than usual but it does come with some trade offs.

10. Next Scheduled Meeting – Tuesday, May 18, 2021

V. ADJOURN:

Motion made by M. Roznowski and seconded by G. Layton to adjourn at 6:52 p.m.

MOTION UNANIMOUSLY APPROVED (5-0)

Respectfully submitted,

Approved Date: _____

Andrew J. Vissers
Recording Secretary

Village of Bellevue – Plan Commission

Pursuant to Section 19.84 Wis. Stats., a scheduled special meeting of the Village of Bellevue – Plan Commission was held on Wednesday, June 2, 2021 at 6:00 p.m. at the Bellevue Village Hall/Public Safety Building – 3100 Eaton Road, Green Bay, WI

ROLL CALL:

Steve Soukup, Chairman	x	Greg Layton	x
Paul Hamachek , Vice Chair/Secretary	x	Cisco Rosales	x
Paul Carron	x	Mark Roznowski	x
Mark Janowski	x		

Also Present: Andrew J. Vissers – Community Development Director, Ryan Van Straten (Remote)

I. 6:00 P.M. CALL REGULAR MEETING TO ORDER:

The meeting was called to order by Chairman Soukup at 6:00 p.m.

1. Pledge of Allegiance

2. Approval of Agenda:

Moved by C. Rosales, seconded by M. Roznowski to approve the agenda.

MOTION UNANIMOUSLY APPROVED (7-0)

II. REGULAR ITEMS:

3. CSM 2021-0003 - Consider/Discuss/Act on the request by Ryan Van Straten, Alliance Management, Petitioner, on behalf of Robert J & Erin M Hoekstra, Owners, for approval of a 2-Lot Certified Survey Map (CSM) of Parcel B-296 located generally on the north side of Hoffman Road (County Highway XX) and west of Bellevue Street (County Highway XX).

A. Vissers stated the proposed Certified Survey Map (CSM) is for Parcel B-296 generally located on the north side of Hoffman Road (County Highway XX) and west of Bellevue Street (County Highway XX). This parcel was included in the PDD – Planned Development District that was approved by the Village of Bellevue for the Crystal Lake expansion project (see PDD 2021-0007).

A. Vissers indicated that the existing parcel has a total of 21.82 acres (950,579 square feet) and currently is undeveloped outside of a single-family residence on the eastern side. The proposal would create two lots with a smaller lot (proposed Lot 1) at 1.225 acres (53,369 sf) located on the eastern side of the parcel and containing the single-family dwelling. Lot 2 is proposed to be 20.597 acres (897,210 sf) and will be incorporated into the associated plat (see Plat 2021-0002) for the overall development of the Crystal Lake Apartments expansion. The reason that they are requesting a Certified Survey Map as well as pursuing a plat is that they need to close on the property and in order to do so, the existing residence needs to be separated. the platting process will take to long for them to meet that deadline, so the CSM will be recorded in order to complete the land sale and the plat will be recorded after Final approval layout out the lots as per the approved Planned Development District (PDD).

A. Vissers concluded that there are a number of items missing from the Certified Survey Map (CSM) that will need to be added or corrected such as standard notes and restrictive covenants, correction of title blocks and setback and utility easements. Previous CSM's recorded in the area show the 12'

utility easement as well as a 35' front building setback line. Those as well as other requirements have been identified in the conditions of approval recommended by staff. Staff is recommending approval.

Motion made by C. Rosales and seconded by G. Layton to recommend approval of the proposed Certified Survey Map (CSM 2021-0003) subject to the following conditions:

- 1. Review, approval, and signature from Brown County Planning Commission.**
- 2. All easements as required by reviewing agencies.**
- 3. Identify a 12' utility easement along the road frontages for Lot 1 and Lot 2.**
- 4. Identify the required front yard setbacks for proposed Lot 1 and Lot 2 from adjacent streets.**
- 5. Change the title block from "Village of Bellevue Resolution" to "Certificate of Village of Bellevue".**
- 6. Add all the standard Notes and Restrictive Covenants to the Certified Survey Map (CSM).**
- 7. All new driveways will require approval from the Brown County Highway Department when connecting to a County facility. A note shall be added to the proposed Certified Survey Map to that condition.**
- 8. A copy of the recorded document shall be provided to the Village of Bellevue electronically by the applicant.**

MOTION UNANIMOUSLY APPROVED (7-0)

- 4. PLAT 2021-0002 – Consider/Discuss/Act on the request by the Ryan Van Straten, Alliance Management, Petitioner, on behalf of Robert J & Erin M Hoekstra, Crystal Cove, LTD, and Bel Meadows Partners, LLP, for approval of the Preliminary Plat of Crystal Cove Subdivision, a mixture of 14 lots located generally on the north side of Hoffman Road (County Highway XX) and west of Bellevue Street (County Highway XX) Parcels B-296, B-300, B-2506, B-2507-1, & B-2508.**

A. Vissers stated the proposed Preliminary Plat is associated with the existing Crystal Lake and Crystal Cove development as well as the proposed expansion approved with the Planned Development District approved by the Village (see PDD 2021-0007).

A. Vissers indicated the Preliminary Plat has redrawn lots associated with the existing development. Lot 9 will contain the Crystal Lake existing development and the western part of the expansion. Lot 10 will contain the existing Crystal Cove development and the eastern component of the expansion. Lots 1-7 and 11-14 were identified as future single-family dwelling lots and are sized in compliance with the R-1 – Single-Family Residential District. That being said, Lot 8 and Lots 11-14 are intended to be dedicated to the Village in lieu of paying Park Impact Fees for the expansion. The Village Board approved the MOU and staff will be working on the official agreement. Staff would question that if they are intended to be dedicated, that they should all be one lot to avoid the Village having to do a combination CSM in the future as property lines will impact placement of future park and recreation facilities in regard to setbacks.

A. Vissers continued that proposed Lots 9 and 10 will contain the existing Crystal Lake and Crystal Cove Apartment developments along with the proposed expansion. The development will continue to utilize the existing entrance located on Bellevue Street as the only access point. There is an existing emergency access point north of that primary access on Bellevue Street as well as another emergency access point proposed along Hoffman Road. The proposed single-family properties and other properties are along Hoffman Road (County Highway XX) and would take direct access to that facility. All new driveways will require approval from the Brown County Highway Department when connecting to a Brown County Highway facility.

A. Vissers concluded that there are a number of standard items that typically appear on plats that we are recommended to be added as this item advances to the final plat step. Numerous existing easements and well as notes and covenants are not shown. Those will need to be identified on the plat. Staff is recommending approval as conditioned in the staff report.

M. Janowski questioned if we needed to add a condition regarding the combination of the lots being dedicated to the Village.

A. Vissers stated that would be referenced under condition 12 listed in the staff report.

R. Van Straten stated that they are willing to make those changes as requested.

Motion made by C. Rosales and seconded by M. Roznowski to recommend approval of the proposed Preliminary Plat (PLAT 2021-0002) subject to the following conditions:

1. **Submission of a Final Plat for review and approval by the Village of Bellevue.**
2. **Review, approval, and signature from Brown County Planning Commission.**
3. **All easements as required by reviewing agencies.**
4. **Identify a 12' utility easement along all the road frontages for all Lots.**
5. **Identify the required front yard setbacks for proposed Lots from adjacent streets.**
6. **Provide grading and drainage plan subject to review and approval by Director of Public Works.**
7. **Change the title block from "Village of Bellevue Resolution" to "Certificate of Village of Bellevue".**
8. **Add all the standard Notes and Restrictive Covenants to the Plat.**
9. **All new driveways will require approval from the Brown County Highway Department when connecting to a Brown County Highway facility. A note shall be added to the proposed Plat to that condition.**
10. **A copy of the recorded document shall be provided to the Village of Bellevue electronically by the applicant.**
11. **Utility easements identified on Lots 9 and 10 and running between Lots 12 and 13 are for private utilities and not intended for public use. A note should be added to the Plat indicating as such.**
12. **As Lots 8 and 11-14 are intended to be dedicated to the Village through an agreement, they should be combined as one Lot.**

MOTION UNANIMOUSLY APPROVED (7-0)

III. OTHER:

5. **Matters from the Public – None**

6. **Director's Update –** A. Vissers thanked the Plan Commission for accommodating the special meeting this evening.

S. Soukup thanked the Commission for their efforts.

7. **Next Scheduled Meeting –** Tuesday, June 15, 2021

IV. ADJOURN:

Motion made by P. Hamachek and seconded by M. Roznowski to adjourn at 6:15 p.m.

MOTION UNANIMOUSLY APPROVED (7-0)

Respectfully submitted,

Approved Date: _____

Andrew J. Vissers
Recording Secretary

AGENDA ITEM

TO: Diane Wessel, Village Administrator
Plan Commission

FROM: Andrew J. Vissers, AICP, Community Development Director

SUBJECT: PDD 2021-0008 – Consider/Discuss/Act on the request by Steve Bieda, Mau & Associates, LLP, Petitioner, on behalf of Paul Kosmoski, Moski Corporation, Owner for approval of a Preliminary/Final Planned Development District (PDD) to adjust the space and area requirements of the R-1 – Single-Family Residential District for a portion of Parcel B-2882 located west of Huron Road (County Highway EA), approximately 485’ north of Willow Road.

APPROVAL PROCESS: The recommendation of the Plan Commission will be forwarded to Village Board for a public hearing and consideration at the July 14, 2021 regularly scheduled meeting.

STAFF RECOMMENDATION: Staff recommends approval of the proposed preliminary Planned Development District (PDD).

1. A Final PDD shall be submitted for review and approval by the Village Board within a year of approval of the Preliminary PDD.
2. The underlying zoning of the R-1 – Single-Family Residential District standards shall apply except deviations approved within the Final PDD.
3. Exterior color choices shall be required among the neighborhood in order to provide variation.

APPLICATION SUBMITTAL DATE: May 24, 2021 (Original Application)
May 25, 2021 (Revised Application)

ITEM SUMMARY: The submitted request includes one parcel with approximately 10.6 acres that are proposed to be developed as a single-family residential subdivision with modified space and area requirements. An associated preliminary subdivision plat is proposed (see PLAT 2021-0001) that is being considered concurrently with this request. If this proposal is not approved as proposed, it will impact that plat proposal layout.

SURROUNDING ZONING AND LAND USES:

Subject Property: R-1 – Single-Family Residential District (Undeveloped land)

Zoning District

Current use of property

North	A-2 – Agricultural Transition District	Undeveloped land
South	R-1 – Single-Family Residential District; P- Public Use District and B-2 – General Business District	Undeveloped land
East	R-1 – Single-Family Residential District and PDD – Planned Development District	Single-family, Willow Glen Clubhouse and undeveloped land
West	R-1 – Single-Family Residential District	Single-family dwellings

PROPOSED ZONING: The purpose of the Planned Development District and the regulations applicable to the same are to encourage and provide means for effecting desirable and quality development by permitting greater flexibility and design freedom than that permitted under the basic district regulations, and to accomplish a well balanced, aesthetically satisfying Village and economically desirable development of building sites within a Planned Development District. These regulations are established to permit latitude in the development of the building site if such development is found to be in accordance with the purpose, spirit and intent of this ordinance and is found not to be hazardous, harmful, offensive or otherwise adverse to the environment, property values or the character of the neighborhood or the health, safety and welfare of the community. It is intended to permit and encourage diversification, variation and imagination in the relationship of uses, structures, open spaces and heights of structures for developments conceived and implemented as comprehensive and cohesive unified projects. It is further intended to encourage more rational and economic development with relationship to public services, and to encourage and facilitate preservation of open space and other natural features, such as woodlands, floodplains and wetlands.

As the Zoning Code states, the procedure for approval of a planned development project shall consist of two phases:

1. **Preliminary Approval** – consisting of approval of the proposed project in principle only, and
2. **Final Approval** – consisting of approval of the proposed project in all its terms and details.

The proposal consists of 25 single-family lots. The reason for the request is to deviate from the minimum space and area requirements of the R-1 – Single-Family Residential District in order to lend itself more to the characteristics of the intended market for some the lots/homes. The lots on the north side of proposed Evening Star Drive will follow the standard space and area requirements of the R-1 District whereas the lots south of Evening Star Drive and along Evening Star Court are proposed to modify the space and

area requirements due to space constraints due to natural features of the land as well as to gear it to a specific product and market.

The lots along the south side of Evening Star Drive and throughout Evening Star Court are intended for empty-nesters or business professionals seeking smaller spaces yet quality construction. There will be 3-4 options for home layouts all with 2 or 3 bedrooms and 2 bathrooms. Exterior construction to made up of a mixture of materials. The depicted house footprint plans are included in the packet but may change as the project is refined.

This modifications to setbacks and lot sizes has been done in similar developments not only within the Village of Bellevue but also the surrounding area and have proven to be successful.

The deviations are as follows:

- Front Yard Setback reduced from 30' to 25'
- Minimum Lot Width at Front Yard setback reduced from 80' to 65'
- Minimum Lot Width at Front Yard on Curve reduced from 60' to 46'
- Side Yard Setback reduced from 8' to 7'
- Corner Side Setback reduced from 30' to 25'
- Minimum Lot Area reduced from 11,000 sf to 8,000 sf

The applicant has also requested to reduce the width of the right-of-way, as identified in the subdivision preliminary plat staff report (see PLAT 2021-0001) from a required 70' to 60'. This will likely reduce the road width as well from the standard 37'. Staff recommends a 31' back of curb to back of curb width for Evening Star Court. As it is to remain a public street, staff feels that the width is appropriate.

The applicant has included a general concept of exterior elevations which will help in breaking up the appearance of the neighborhood. Staff would recommend that multiple exterior colors are required in order to avoid a uniform bland color appearance in the neighborhood.

In the original request, a proposed was introduced to propose Multi-family on the B-2 – General Business District lot to the south but was revised to remove it from the request after staff expressed concerns about the use and preliminary concept design.

Staff is supportive of this request. As the PDD is minor in nature (only modifying the space and area requirements of some of the lots), the request shall be considered a Preliminary/Final PDD and only require one application/approval.

CONFORMANCE WITH COMPREHENSIVE PLAN: The property is identified as Low Density Residential on the Future Land Use Plan (FLUP). The proposed uses are consistent with the recommendations of the FLUP.

OPPOSITION TO OR SUPPORT OF REQUEST: Staff has not received any calls or e-mails in support of or opposition to this request as of the drafting of this report.

ATTACHMENTS:

- Application
- Location Map
- Letter of Intent
- Proposed Preliminary Planned Development District Exhibits

Action:



REQUEST FOR DEVELOPMENT APPROVALS

2828 Allouez Avenue Bellevue, WI 54311 (920) 468-5225
Fax (920) 468-4196 email: andrewv@villageofbellevue.org

Application Number: _____ Parcel Number: B-2871, R-2882

Name of Owner (Individual, Corp., etc.) Moski Corporation

Contact Name Paul Kosmanek Lot Outlot 6, 6+58 ^{with} _{Corner 15th Ave D}

Address 1270 Main St. Green Bay, WI 54302 Phone 920-432-9250

Email paul@kosmanekmanagement.com Fax _____

Name of Applicant/Contact Person (if different from Owner). Only applicant will be notified for meetings and public hearing.

Name of Contact Person Steve Breida, Man & Associates

Name of Firm/Company Man & Associates Phone 920 434 9670

Mailing Address 100 Security Blvd Ste 411 Fax _____

Email sbreida@man-associates.com

Type of Request (check all that apply):

- Official Map Amendment/ADP
- Planned Development District
- Subdivision Plat Map
- Comp. Plan Amendment
- Conditional Use (Supplement "A" Req'd)
- Certified Survey Map
- Re-Zoning Request
- Zoning Approval (Supplement "A" Req'd)
- Zoning Ordinance Amd.

Address of Affected Property 3285 Willow Rd, 5th Floor R2 Current Zoning A-2

Owner Signature [Signature] (Agent) Date 5-21-21

Note: No request for re-zoning will be placed on the agenda without the signature of the property owner(s).

Required Submittal Documents:

- Legal Description
- Detail Map of Area
- Letter of Intent indicating the specifics of request
- Appropriate Exhibits for processing

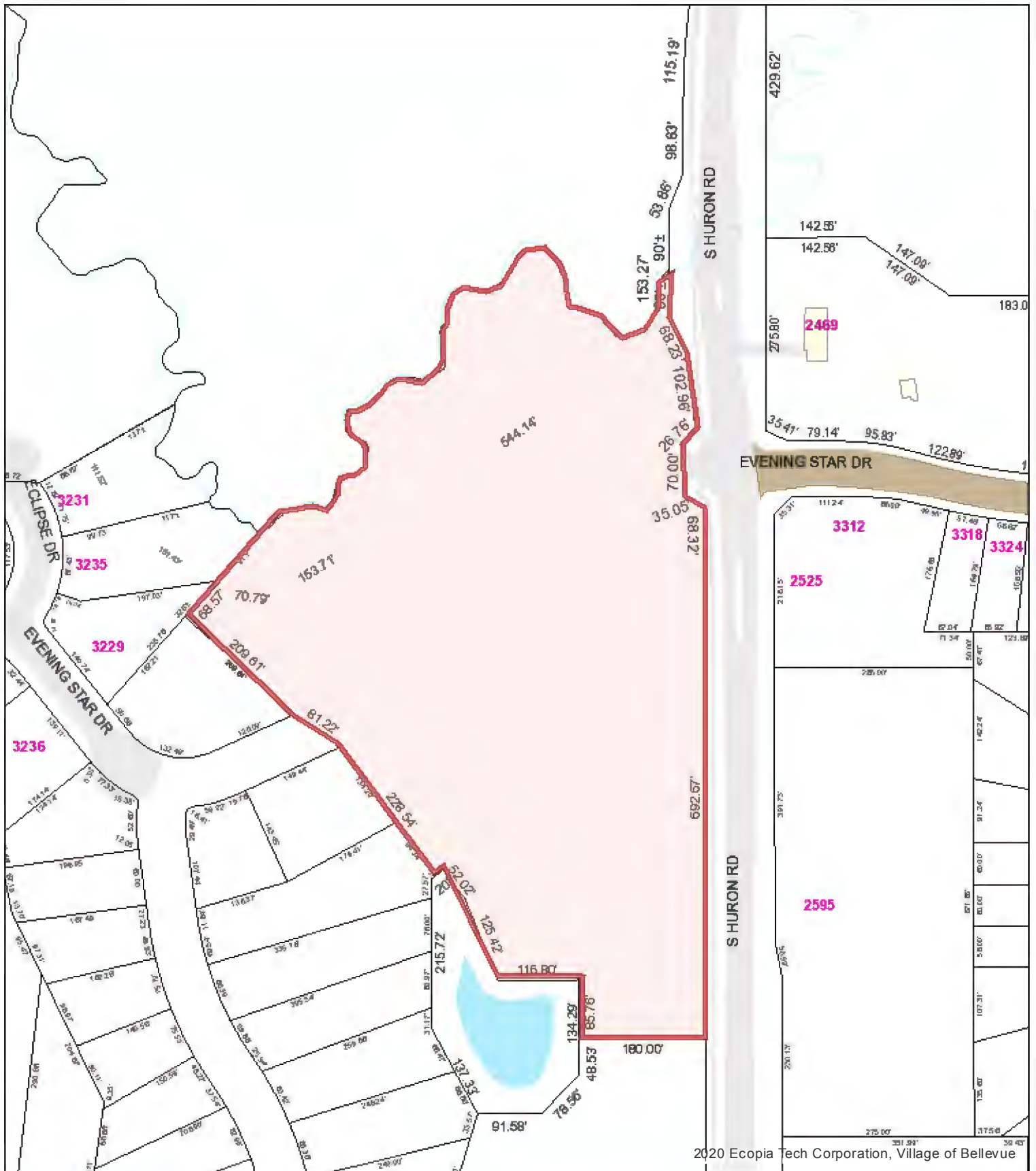
FOR OFFICE USE ONLY: Review Fees (check all that apply)

ADP/Official Map Amendment \$350 _____	Preliminary Plat \$200 +\$35/lot <u>2/lot</u>	Preliminary PDD \$500 <u>*</u>
Conditional Use Request \$350 _____	Final Plat \$100 _____	Final PDD \$300+ \$100/M>1M _____
Certified Survey Map \$175 _____	Comp. Plan Amendment \$350 _____	PDD Amendments \$350 _____
Rezoning Request \$250 _____	Extra CSM/Plat \$100 _____	Zoning Ordinance Amd. \$1000 _____
Amount Paid: <u>\$ 1075 and \$ 500</u>	Date Paid: <u>5/25/21</u> <u>5/25/21</u>	Receipt Number: <u>15001260 +</u> <u>15001259</u>



PDD 2021-0008

Village of Bellevue, Wisconsin



2020 Ecopia Tech Corporation, Village of Bellevue



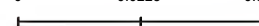
Map provided by the Village of Bellevue's Internal Interactive Web Mapping System
Please visit: www.villageofbellevue.org/GIS to access Bellevue's Interactive Web Mapping System.

This map is intended for advisory purposes only. The data presented has been compiled from various sources, each of which introduces varying degrees of inaccuracies or inconsistencies. Such discrepancies in data are inherent. The Village of Bellevue assumes no liability for its use or accuracy.

Date: 6/11/2021

Reference Scale: 1:0

0 0.0225 0.045 mi



Legend

 Site Location

MAU & ASSOCIATES-LLP
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
400 SECURITY BOULEVARD ♦ GREEN BAY, WI 54313 ♦ PHONE (920) 434 - 9670 ♦ FAX (920) 434 - 9672

May 25, 2021

Village of Bellevue
2828 Allouez Avenue
Bellevue, WI 54311

Re: Rezoning R1 PDD overlay and preliminary plat request for and B-2882

Dear Village of Bellevue Plan Commission,

Please accept this application for rezoning to allow a planned development district at the R1 zoning on the above stated parcel along with an accompanying preliminary plat.

The property is currently owned by MOSKI Corporation and to be developed partly by MOSKI Corporation and partly by BenBartoProperties LLC. The project is located is located along South Huron Road (CTH EA) and Willow Road. The proposed subdivision site contains 25 single family residential lots. Each lot will be owned individually. Similar to the adjacent Willow Grove Subdivisions to the West, the single family residential lots along the North side of Evening Star Drive will comply with standard R1 zoning requirements. Lots along the South side of Evening Star Drive and throughout Evening Star Court will be narrower to accommodate predesigned home options. House plan could vary slightly but would need to comply with the setbacks. The Lots along the South side of Evening Star Drive and throughout Evening Star Court are intended for empty-nesters or business professionals seeking smaller spaces yet quality construction. There will be 3-4 options for home layouts all with 2 or 3 bedrooms and 2 bathrooms. Exterior construction to made up of a mixture of materials. The depicted house footprint plans are included in the packet of information accompanying this application.

The following R1 code variations are noted:

500-504

Single family dwelling minimum lot area. Request to allow minimum lot size of 8125 square feet, rather than 11,000 square feet.

Single family minimum lot width. Request to allow minimum lot width of 65 feet, rather than 80 feet.

Primary building setback requirements. Request to allow 25 foot front yard and corner yard setback, rather than 30 feet.

Primary building setback requirements. Request to allow 7 foot side yard setback, rather than 8 feet.

Primary building setback requires. Request lot frontage measured at right of way line of a cul de sac to allow 46 feet minimum, rather than 60 feet.

If you have any questions or comments, please feel free to contact me directly.

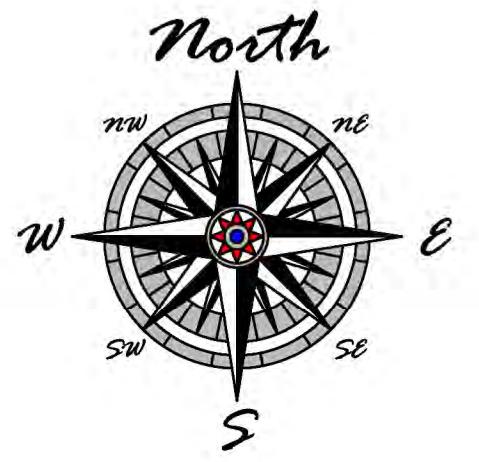
Thank you,

Steven M. Bieda
Mau & Associates

Planned Development District

All of Outlet 6 of the recorded "Willow Grove 1st Addition" (Volume 24, Plats, Page 172, Document Number 2955083, Brown County Records), said Lot being further located in part of the Northeast 1/4 of the Northwest 1/4 and the Southeast 1/4 of the northwest 1/4 of Section 23, T23N-R21E, in the Village of Bellevue, Brown County, Wisconsin.

Graphic Scale



NOTES

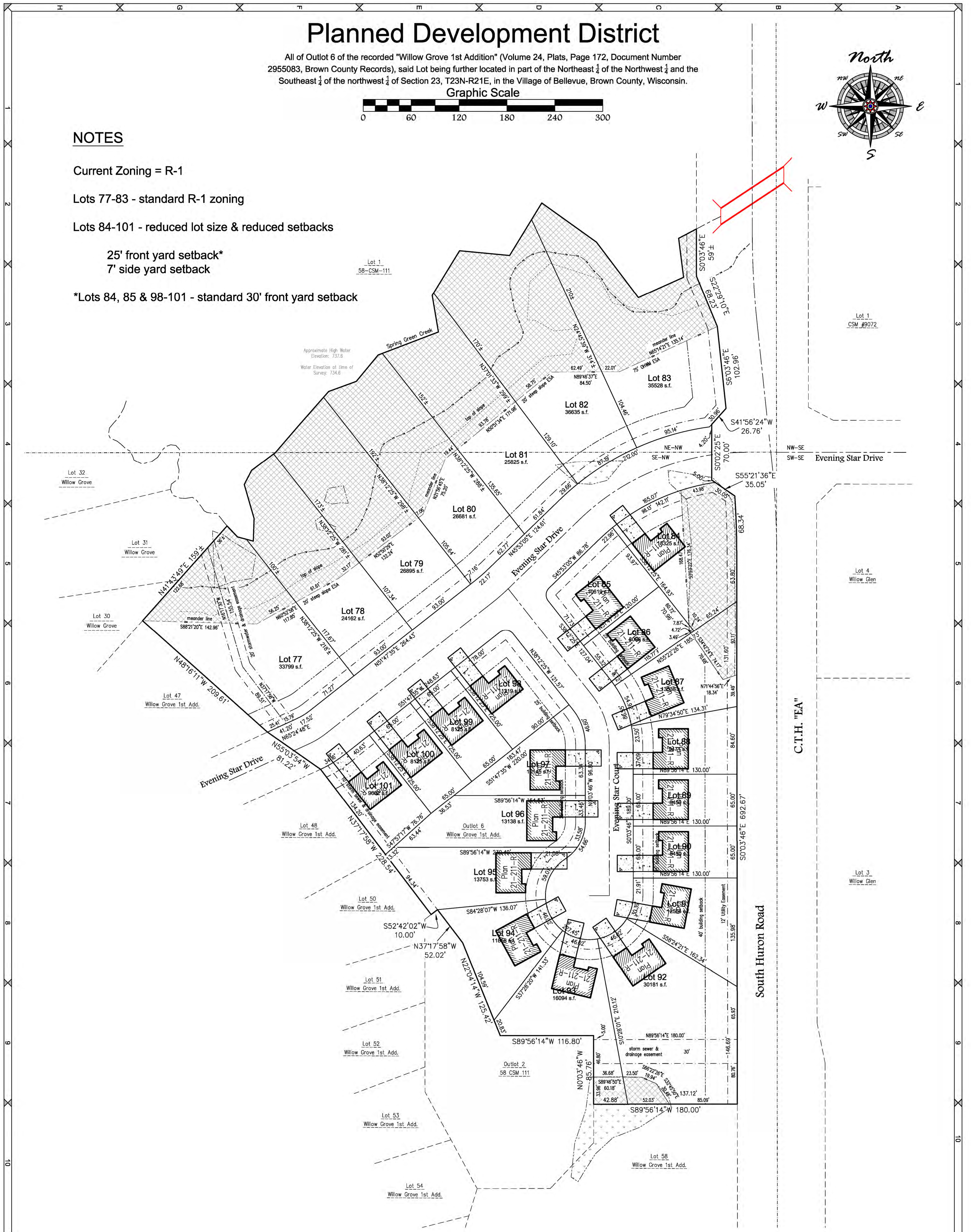
Current Zoning = R-1

Lots 77-83 - standard R-1 zoning

Lots 84-101 - reduced lot size & reduced setbacks

25' front yard setback*
7' side yard setback

*Lots 84, 85 & 98-101 - standard 30' front yard setback



PROJECT NO.
K-16805
SHEET NO.
1 of 2
DRAWING NO.
P-2480

MOSKI Corp.

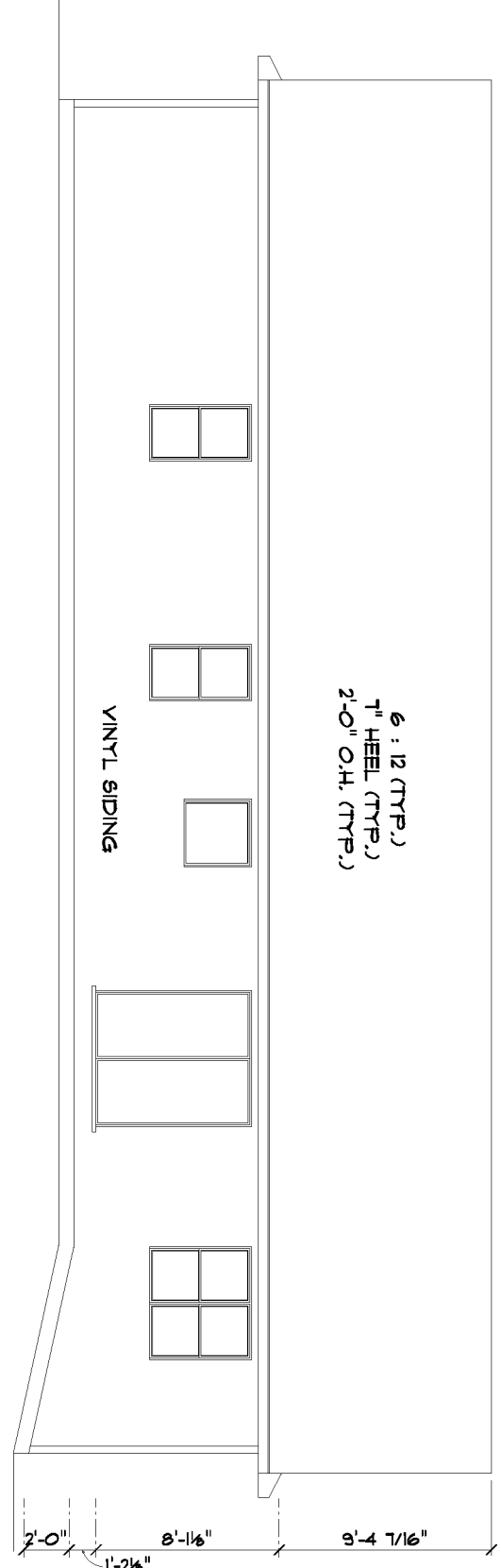
Mau & Associates, LLP
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Website: www.mau-associates.com
400 Security Blvd Ste 1, Green Bay, WI 54313-9712

TAX PARCEL NO. B-2882
Planned Development District

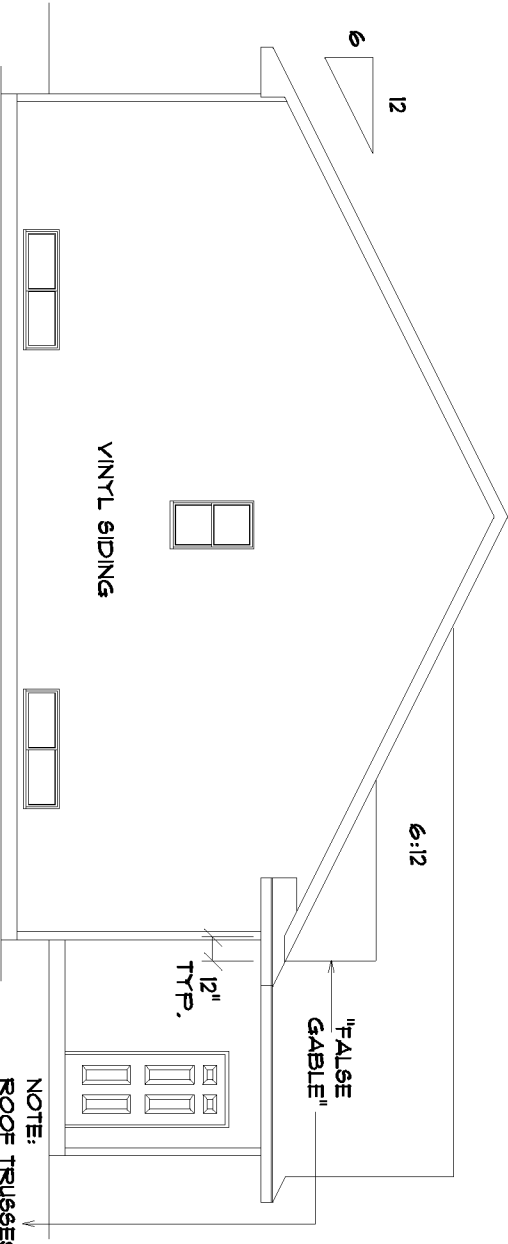
SCALE
1"=60'
DRAWN BY
BAR



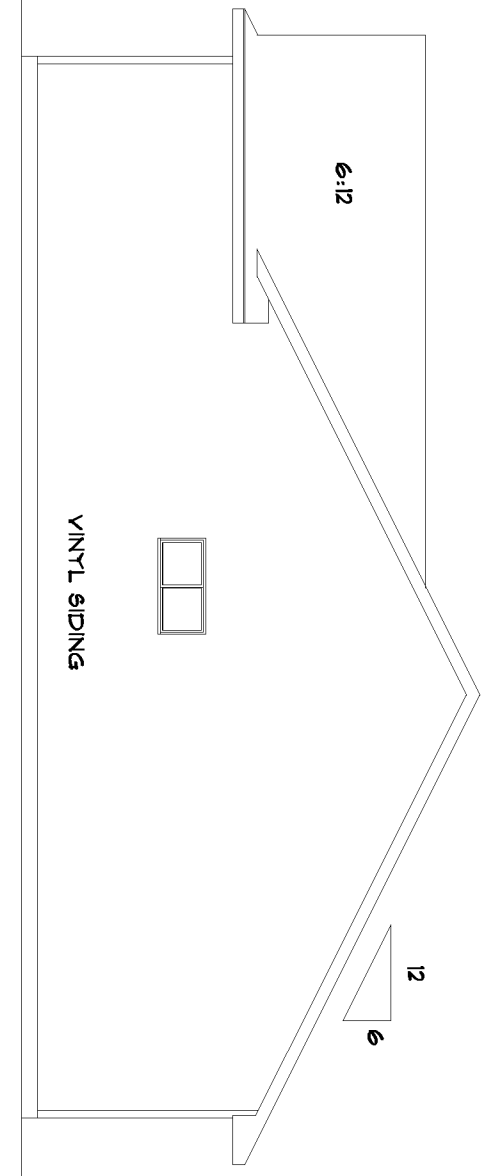
SQUARE FOOTAGE:
 FIRST FLOOR: 1449
 GARAGE: 770
 COVERED PORCH: 103



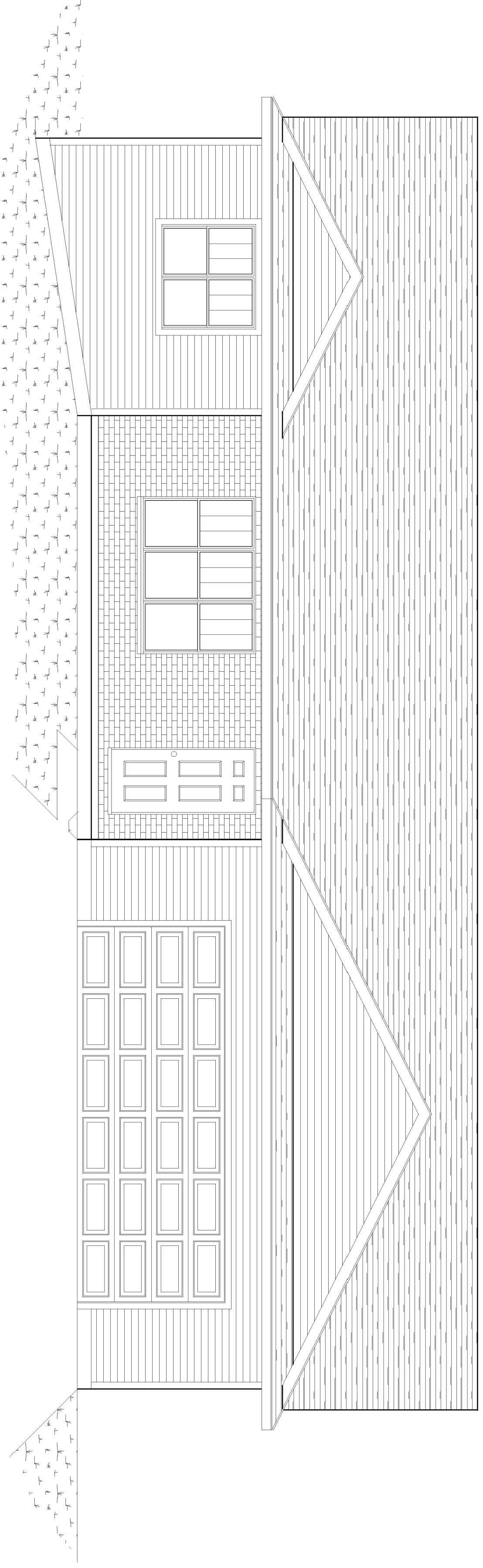
REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

CUSTOM DESIGNED FOR:		BARTOLAZZI HOMES	
JOB NAME: 6821 Breckerridge Falls Blvd			
DATE:	1 26 2021	REVISIONS:	
DRAWN BY:	Erik Wasilewski	2/8/2021 CS	
PLAN #:	based off of plan #20-228-R	21-042-R	

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

MAILING ADDRESS:
 P.O. BOX 10001
 GREEN BAY, WI 54301-0001

OFFICE:
 1990 LARSEN ROAD
 GREEN BAY, WI 54303
 PHONE (920)496-5080
 FAX (920)494-9570

COMPONENTS:
 1145 MORAINS TERRACE
 GREEN BAY, WI 54303
 PHONE (920)496-5094
 FAX (920)498-1219



SQUARE FOOTAGE:	
FIRST FLOOR:	1448
GARAGE:	110
COVERED PORCH:	103

PLAN SPECIFICATIONS:

• THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF

WALL INFORMATION:
HOUSE FOUNDATION:
8" X 8" POURED CONCRETE
GARAGE FOUNDATION:
6" X 4" POURED CONCRETE
FOUR-PIECE FOUNDATION:
6" POURED CONCRETE, MIN. 4'-0" TALL
HOUSE EXTERIOR:
FIRST FLOOR: 2 X 6 X 8'-1 1/8", STUDS @ 16" O.C.
HOUSE INTERIOR:
FIRST FLOOR: 2 X 4 X 8'-1 1/8", STUDS @ 16" O.C.
GARAGE: 2 X 4 X 8'-1 1/8", STUDS @ 17" O.C.
• TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
• TAPERED WALLS ARE TO BE FRAMED TO UNDERSIDE OF SCISSOR ROOF TRUSSES
STAIR INFORMATION:
BASEMENT TO FIRST FLOOR:
14 RISERS @ 7 1/8" - 13 TREADS @ 9 1/2"

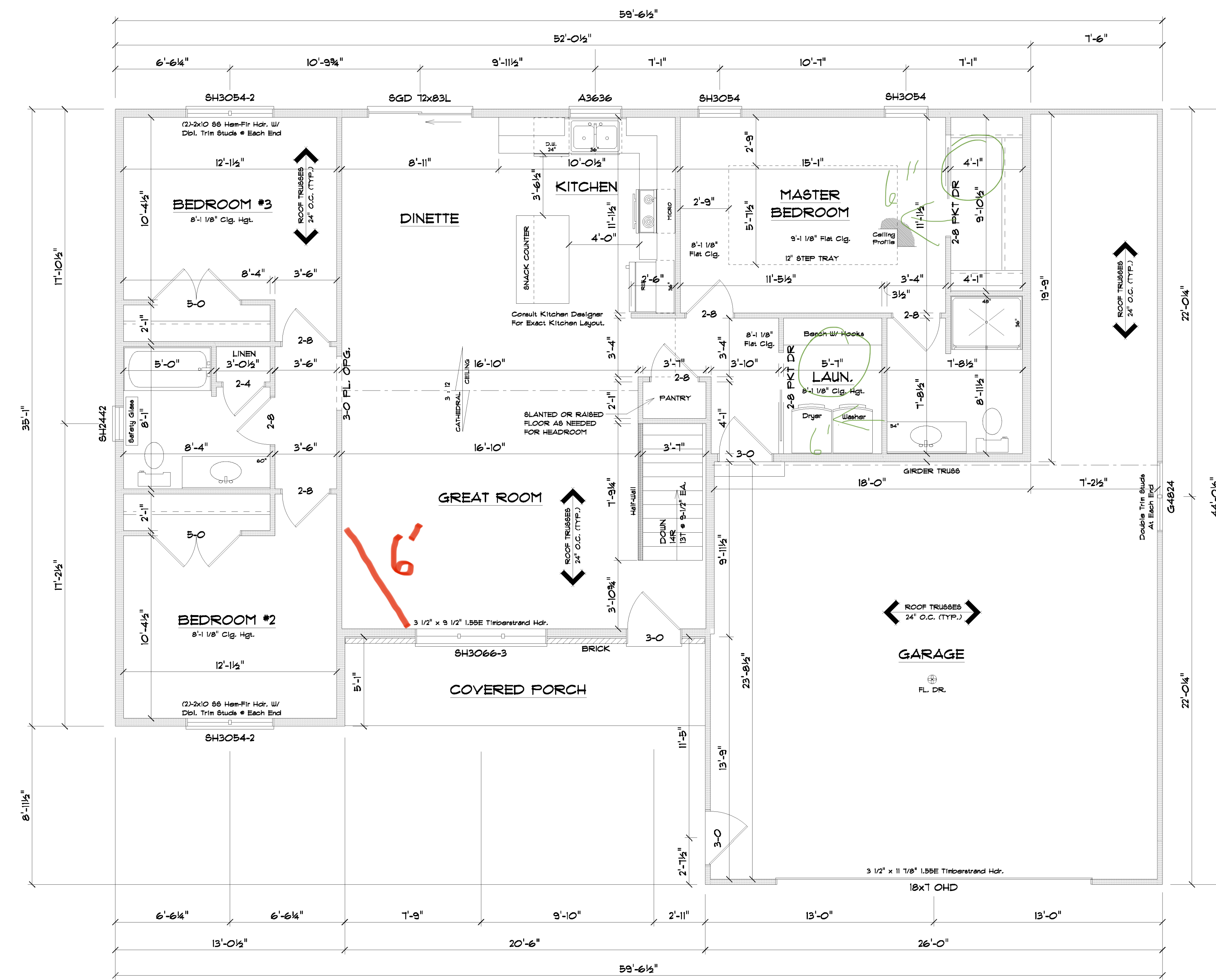
FLOOR SYSTEM(S):
BASEMENT:
4" REINFORCED CONCRETE SLAB
FIRST FLOOR:
11 1/8" JOISTS @ 16" O.C.
STD. LOADING (PER SQ. FT.):
40R LL, 12R D.
ADDITIONAL LOADING (PER SQ. FT.):
10" DL FOR TILE FLOOR
20" DL FOR GRANITE
DEFLECTION: LLL/480 DL/420
DURATION OF LOAD: 1000
FRAMER TO REFERENCE JOIST/TRUSS LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM

ROOF SYSTEM:
ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR BROWN COUNTY - ZONE 2
STD. LOADING (PER SQ. FT.):
30R TOLL, 10R TCDL OF BCL
DEFLECTION: LLL/420 DL/480
DURATION OF LOAD: 180
FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS + UPLIFT ANCHORING REQUIREMENTS
HEADERS:
• STD. HEADERS: (2) 2X10 HEM-FIR SELECT STRUCTURAL W/ FLAT TOP OF WINDOW R.O.B.
• FIRST FLOOR @ 6'-1 1/8" ABOVE SUBFLOOR
• MINIMUM OF (2) TRIM STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

WINDOWS:
• ALLIANCE VINYL WINDOWS
• MANUFACTURER TO PROVIDE SUPPLIER WITH EXACT R.O. SIZES AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET.
GENERAL INFORMATION:
• THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE GENERAL CONTRACTOR:
BASEMENT WINDOWS FLOOR DRAINS
ELECTRIC SERVICES WATER HEATER
SUMP PIT + PUMP FURNACE
• BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN
POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
• STEEL COLUMNS TO SUPPORT 12000#
• INTERIOR BEARING WALLS TO SIT ON CONTIGUOUS CONCRETE FOOTINGS, STUDS @ 16" O.C. WITH BLOCKING OR LATERAL BRACING
CONCRETE CONTRACTOR AND BUILDER ARE RESPONSIBLE TO DETERMINE SITE SOIL CONDITIONS AND FOLLOW STANDARDS PER SPS 320.24. THE MOST RESTRICTIVE STANDARDS OF SPS 32.25 - SPS 32.18, ACI 318-14, AND ACI 332-14 FOR ALL FOOTINGS + WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED
• ASSUMED SOIL CAPACITY IS 3000 PSF. FTG. SIZES MUST BE ADJUSTED FOR VARYING SITE DETERMINED SOIL BEARING CONDITIONS
• ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESSURE TREATED LUMBER AS PER W/ SPS 32.10
DUE TO UNKNOWN GRADE CONDITIONS, ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOWS WILL BE DETERMINED ON SITE BY GENERAL CONTRACTOR
FRAMER IS RESPONSIBLE FOR TRANSFERRING POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM(S) AND WALLS, W/ SOLID BLOCKING DOWN TO CONCRETE FOUNDATION WALLS BELOW
PLAN IS DRAIN DRAIN ACCORDINGLY FOR 3 1/4" CASING
• BUILDER TO PROVIDE ATTIC SCUTTLE AND LOCATION
FIRE SEPARATION MUST BE PROVIDED BETWEEN HOUSE AND GARAGE (SEE CODE FOR DETAILS)
• ALL CABINET LAYOUTS ARE CONCEPTUAL. CONSULT CABINET DESIGNER/PROVIDER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS

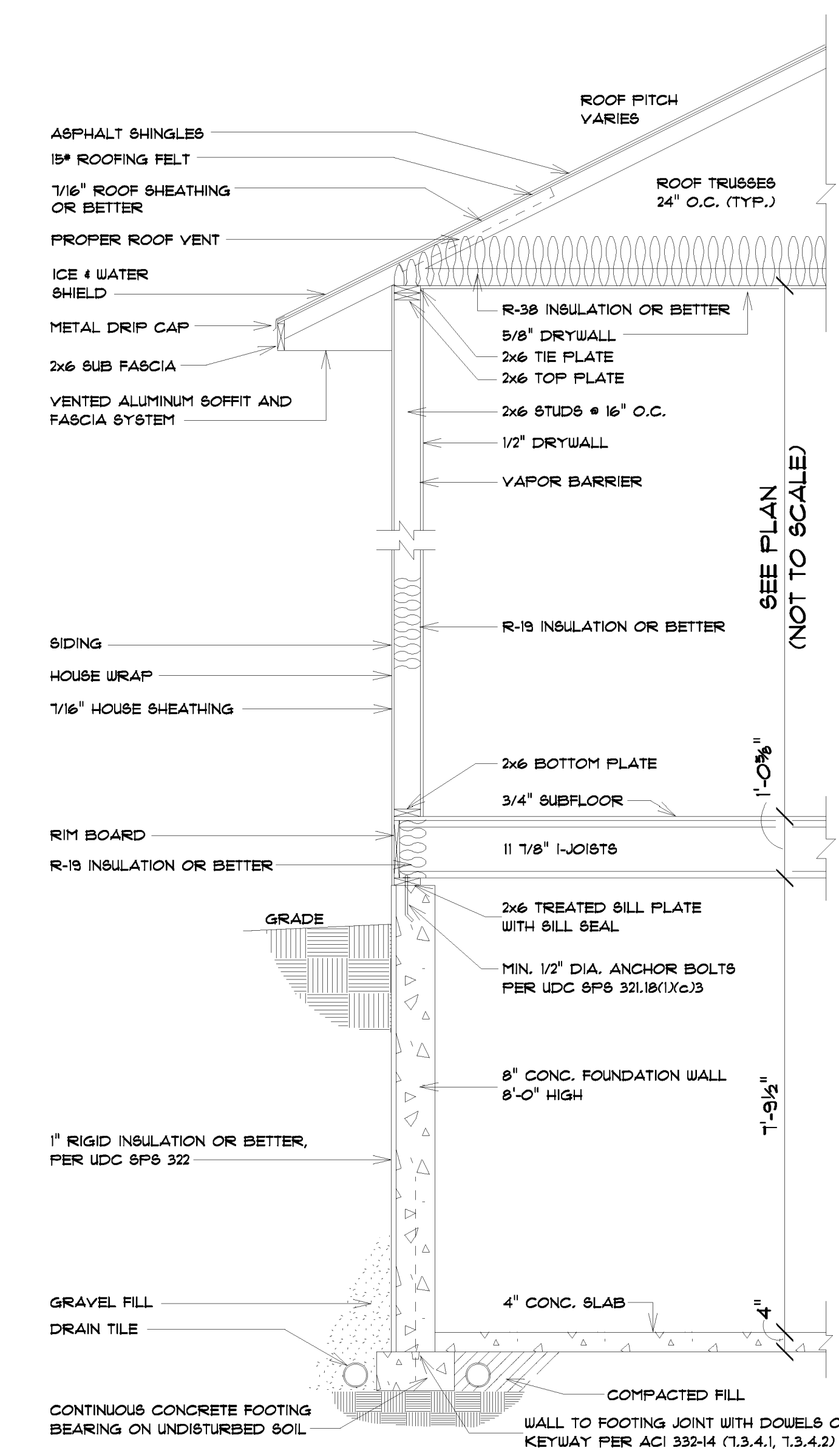
CUSTOMER DESIGNED FOR:

JOB NAME:	687T Breckenridge Falls Blvd
DATE:	1 26 2021
REVISIONS:	2/8/2021 CS
DRAWN BY:	BR. WILSON
PLAN #:	21-042-R
	based off of plan 20-028-R



FLOOR PLAN

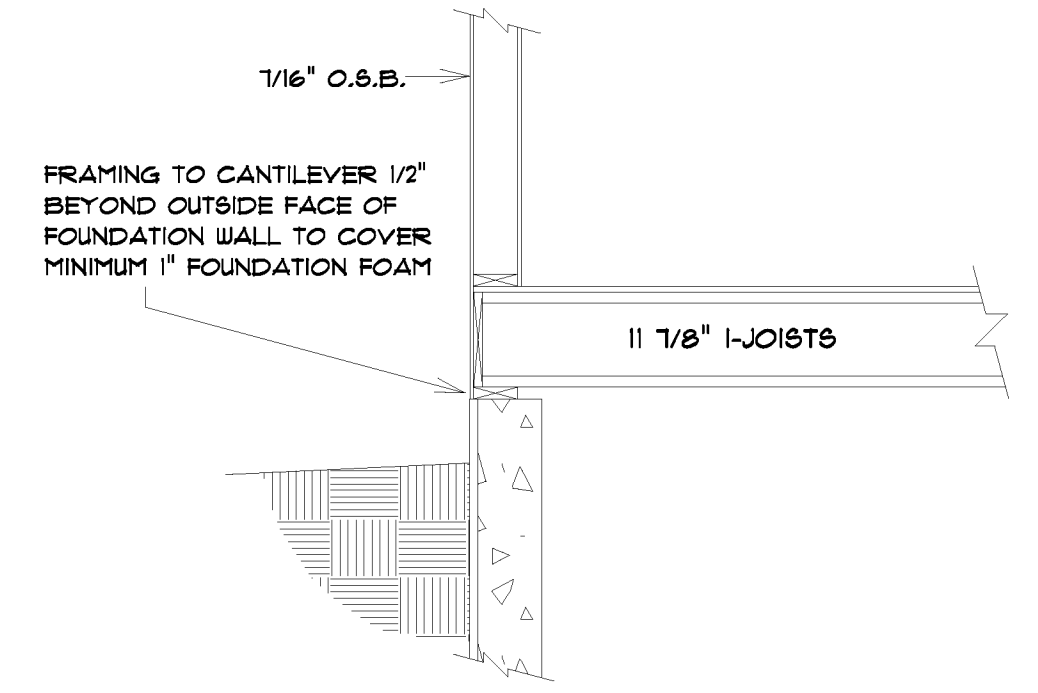
8'-1 1/8" CLG. HGT.
SCALE: 1/4" = 1'-0"



TYPICAL RANCH SECTION

SCALE: 1/2" = 1'-0"

ALL ITEMS TO BE VERIFIED BY CONTRACTOR



BOX SILL DETAIL

SCALE: 1/2" = 1'-0"

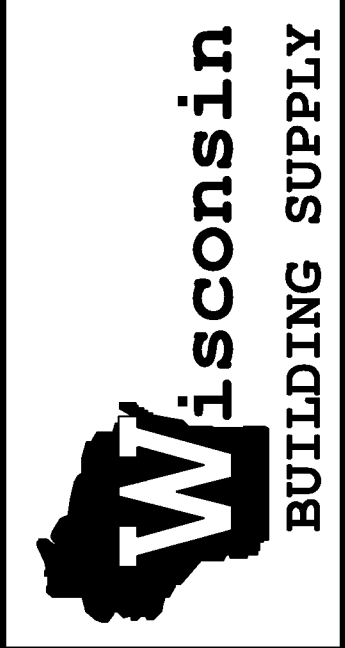
NOTE:
BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW

NOTE:
EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM.

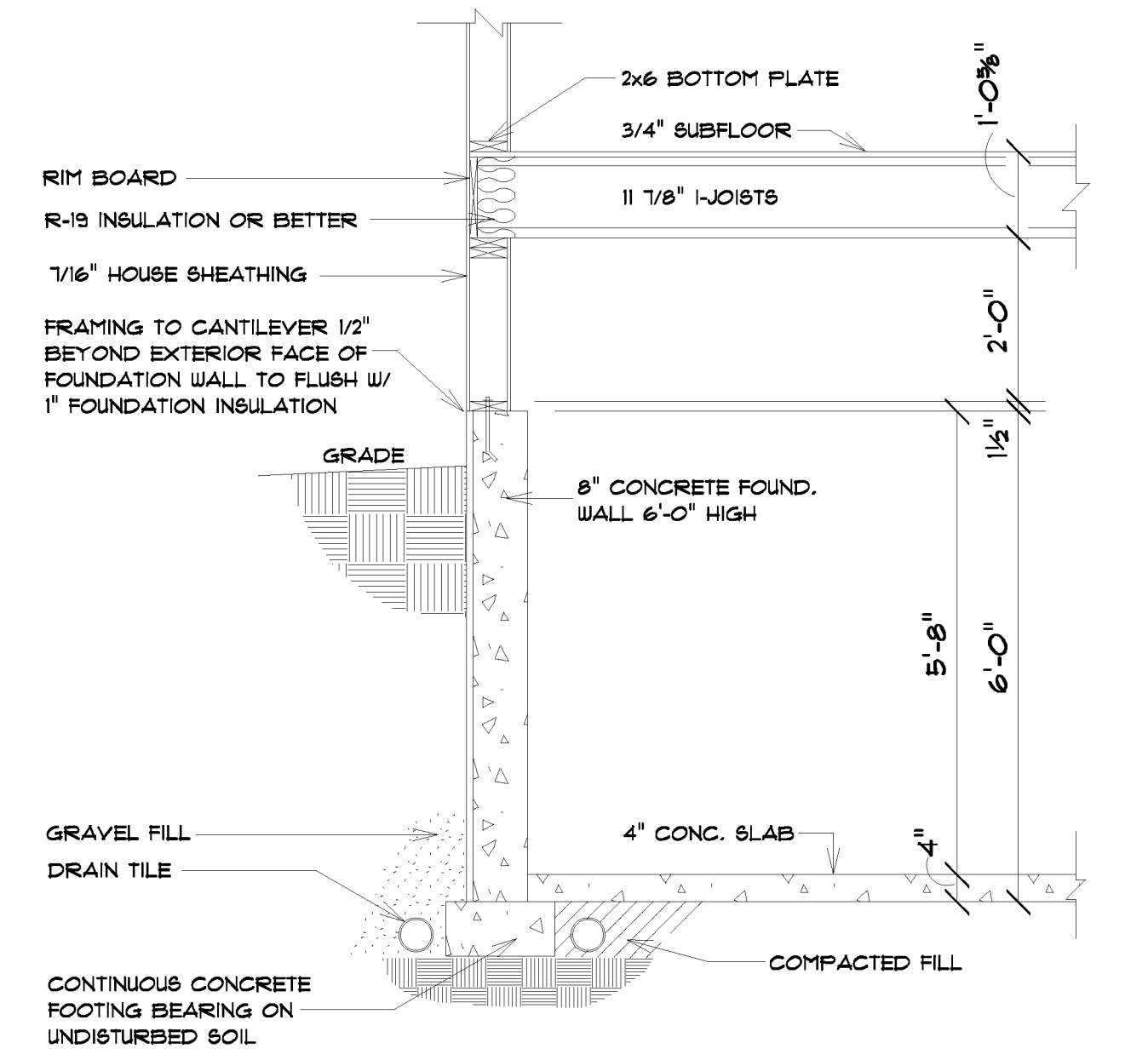
IMPORTANT NOTE:
IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
• IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54907-0001

OFFICE:
WISCONSIN BUILDING SUPPLY
GREEN BAY, WI 54303
PHONE (920)496-5080
FAX (920)494-9870



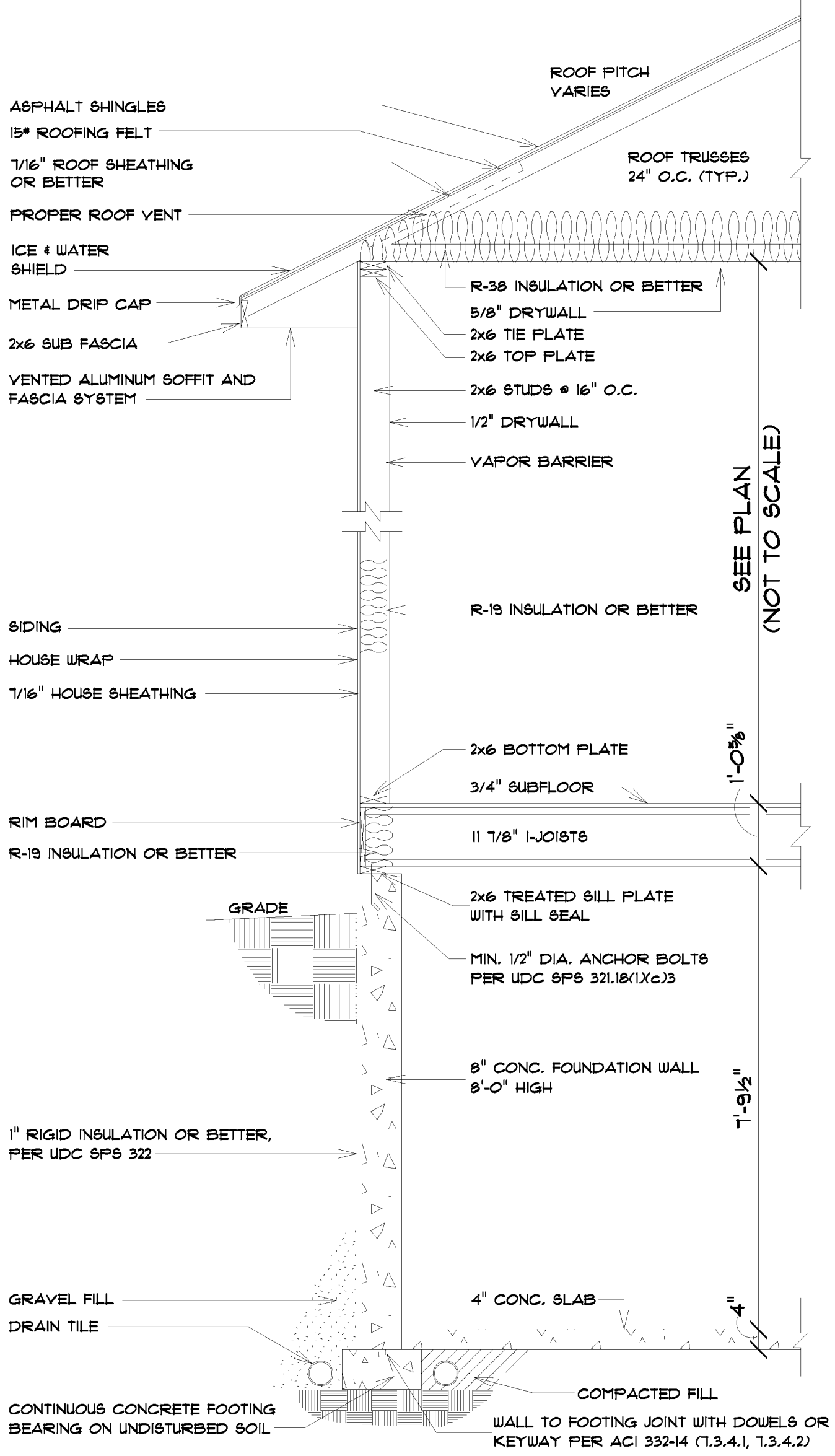
BARTOLAZZI HOMES



KNEE-WALL DETAIL

SCALE: 1/2" = 1'-0"

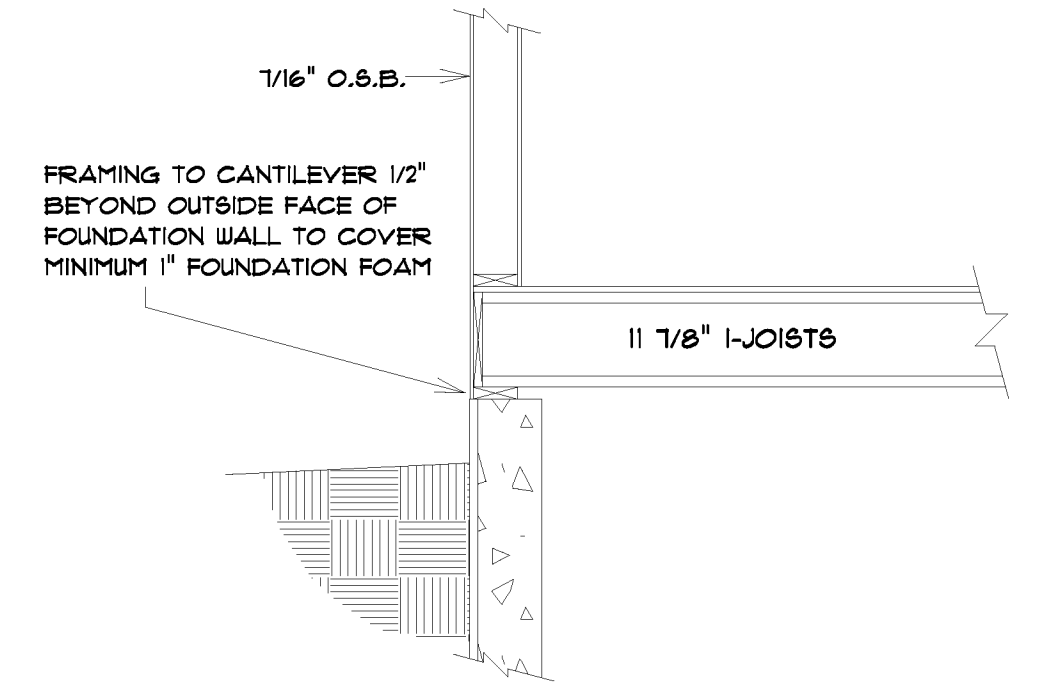
ALL ITEMS TO BE VERIFIED BY CONTRACTOR



TYPICAL RANCH SECTION

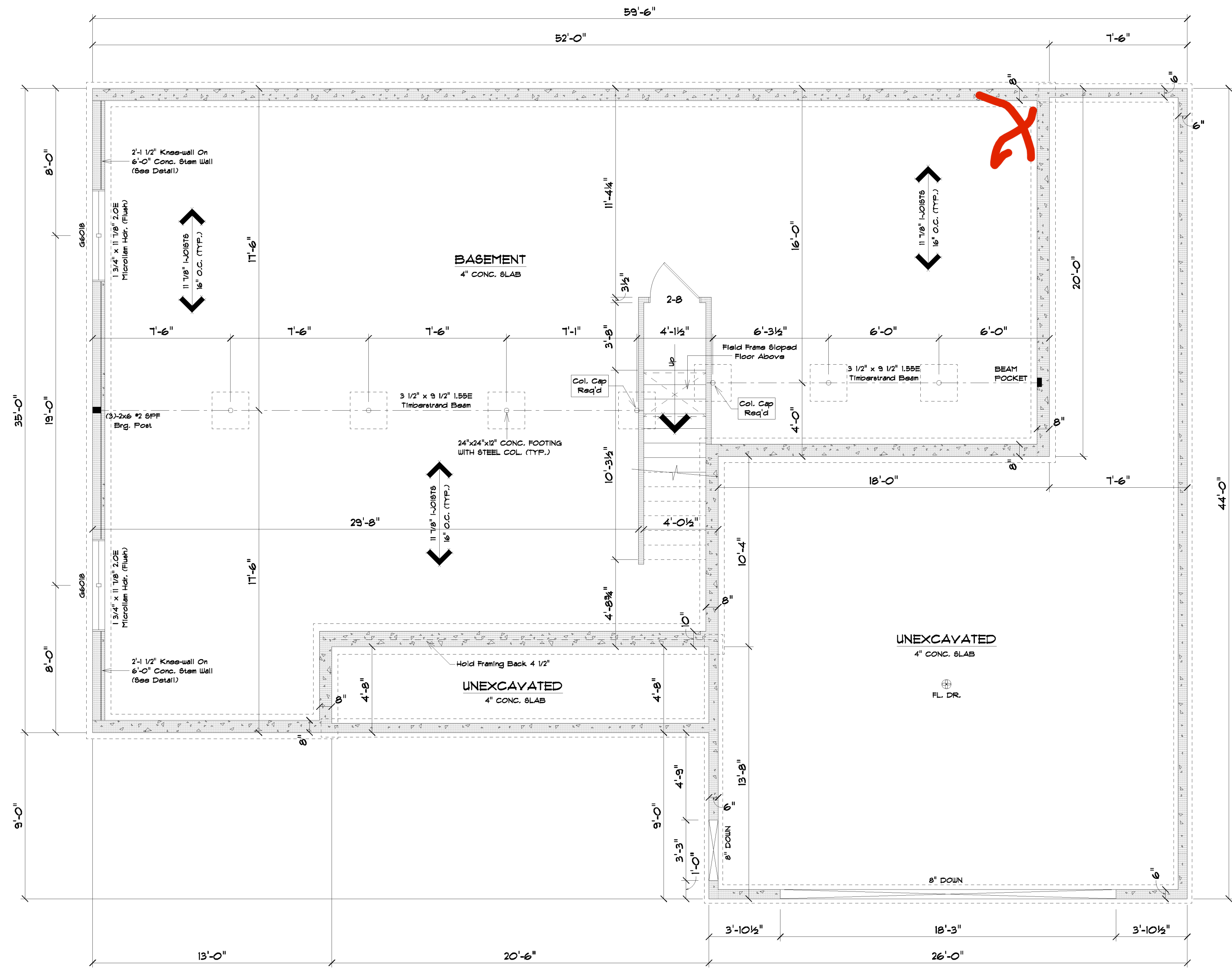
SCALE: 1/2" = 1'-0"

ALL ITEMS TO BE VERIFIED BY CONTRACTOR



BOX SILL DETAIL

SCALE: 1/2" = 1'-0"



FOUNDATION PLAN

8'-0" FOUNDATION WALL HGT.

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE:

FIRST FLOOR:	1448
GARAGE:	110
COVERED PORCH:	103

PLAN SPECIFICATIONS:

- THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF
- WALL INFORMATION:**
 - HOUSE FOUNDATION: 8" X 8'-0" POURED CONCRETE
 - GARAGE FOUNDATION: 6" X 4'-0" POURED CONCRETE
 - FOUR-CORNER FOUNDATION: 6" POURED CONCRETE, MIN. 4'-0" TALL
 - HOUSE EXTERIOR: FIRST FLOOR: 2 X 4 X 8'-1 1/8" STUDS @ 16" O.C.
 - HOUSE INTERIOR: FIRST FLOOR: 2 X 4 X 8'-1 1/8" STUDS @ 16" O.C.
 - GARAGE: 2 X 4 X 8'-3 1/4" STUDS @ 17" O.C.
 - TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
 - TAPERED WALLS ARE TO BE FRAMED TO UNDERSIDE OF SCISSOR ROOF TRUSSES
- STAIR INFORMATION:**
 - BASEMENT TO FIRST FLOOR: 14 RISERS @ 7 1/8" - 13 TREADS @ 9 1/2"
- FLOOR SYSTEMS:**
 - BASEMENT: 4" REINFORCED CONCRETE SLAB
 - FIRST FLOOR: 11 1/8" JOISTS @ 16" O.C.
 - STD. LOADING (PER SQ. FT.): 40R LL, 12R D.
 - ADDITIONAL LOADING (PER SQ. FT.): 10" DL FOR TILE FLOOR 20" DL FOR GRANITE
 - DEFLECTION: LL1/480 DL1/240
 - DURATION OF LOAD: 100%
 - FRAMER TO REFERENCE JOIST/RISER LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM
- ROOF SYSTEM:**
 - ENGINEERED WOOD TRUSSES @ 24" O.C. DESIGNED FOR BRUN COUNTY - ZONE 2
 - STD. LOADING (PER SQ. FT.): 30R TOLL, 10R TOLL OF BCGL
 - DEFLECTION: LL1/240 DL1/180
 - DURATION OF LOAD: 18%
 - FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS + UPLIFT ANCHORING REQUIREMENTS
 - HEADERS:
 - STD. HEADERS: (2) 2X10 HEM-FIR SELECT STRUCTURAL W/ FLAT TOP OF WINDOW R.O.B.
 - FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
 - MINIMUM OF (2) TRIM STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER
- WINDOWS:**
 - ALLIANCE VINYL WINDOWS
 - MANUFACTURER TO PROVIDE SUPPLIER WITH EXACT R.O. SIZES AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET.
- GENERAL INFORMATION:**
 - THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE GENERAL CONTRACTOR:
 - BASEMENT WINDOWS FLOOR DRAINS
 - ELECTRIC SERVICES WATER HEATER
 - SUMP PIT + PUMP
 - BURNAGE
 - BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN
 - POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
 - STEEL COLUMNS TO SUPPORT 12,000#
 - INTERIOR BEARING WALLS TO SIT ON CONTINUOUS CONCRETE FOOTINGS, STUDS @ 16" O.C. WITH BLOCKING OR LATERAL BRACING
 - CONCRETE CONTRACTOR AND BUILDER ARE RESPONSIBLE TO DETERMINE SITE SOIL CONDITIONS AND FOLLOW STANDARDS PER SPS 320.24. THE MOST RESTRICTIVE STANDARDS OF SPS 322.25 - SPS 321.18, ACI 318-14, AND ACI 332-14 FOR ALL FOOTING + WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED
 - ASSUMED SOIL CAPACITY IS 3,000 PSF. FTG SIZES MUST BE ADJUSTED FOR VARYING SITE DETERMINED SOIL BEARING CONDITIONS
 - ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESSURE TREATED LUMBER AS PER W/ SPS 321.10
 - DUE TO UNKNOWN GRADE CONDITIONS, ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON SITE BY GENERAL CONTRACTOR
 - FRAMER IS RESPONSIBLE FOR TRANSFERRING POINT LOADS FROM ABOVE, THROUGH THE FLOOR SYSTEM(S) AND WALLS, W/ SOLID BLOCKING DOWN TO CONCRETE FOUNDATION WALLS BELOW
 - PLAN IS DRAIN ACCORDINGLY FOR 3 1/4" CASING
 - BUILDER TO PROVIDE ATTIC SCUTTLE AND LOCATION
 - FIRE SEPARATION MUST BE PROVIDED BETWEEN HOUSE AND GARAGE (SEE CODE FOR DETAILS)
 - ALL CABINET LAYOUTS ARE CONCEPTUAL. CONSULT CABINET DESIGNER/PROVIDER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS

NOTE:
BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW

NOTE:
EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM.

CUSTOMER DESIGNED FOR:

BARTOLAZZI HOMES

JOB NAME: 880T Breckenridge Falls Blvd
 DATE: 1 26 2021
 REVISIONS: 2/8/2021 CS
 DRAIN BY: BJA, WJL/MSK
 PLAN # 21-042-R
 based off of plan 20-228-R

IMPORTANT NOTE:
IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
 * IT IS THE RESPONSIBILITY OF THE UNLICENSED SALES AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

MAILING ADDRESS:
 P.O. BOX 10001
 GREEN BAY, WI 54307-0001

OFFICE:
 LARSEN ROAD
 GREEN BAY, WI 54303
 PHONE (920)496-5080
 FAX (920)494-9870

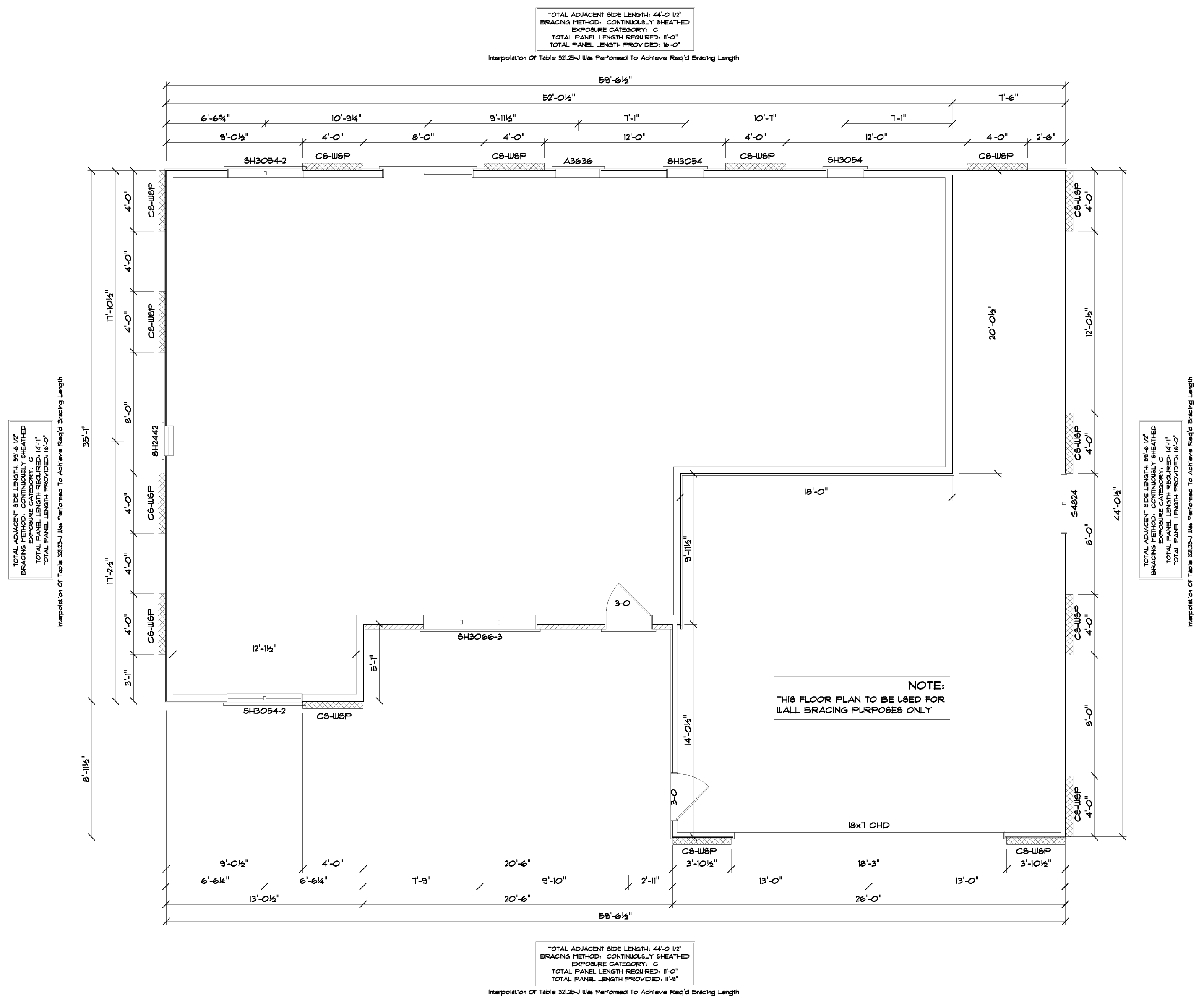
COMPONENTS:
 TERRACE
 PHONE (920)496-5084
 FAX (920)494-9878



SQUARE FOOTAGE:	
FIRST FLOOR:	1448
GARAGE:	TTO
COVERED PORCH:	103

CUSTOM DESIGNED FOR:
BARTOLAZZI HOMES

JOB NAME:	687T Breckerridge Falls Blvd
DATE:	1 26 2021
REVISIONS:	
DR: JLN	2/8/2021 CB
PL: JLN	
PLAN #:	21-042-R
BASED OFF OF:	PLAN 20-028-R



WALL BRACING LAYOUT PLAN

Scale: 3/16" = 1'-0"
 House Wall Ht.: 8'-1 1/8"
 Garage Wall Ht.: 9'-3 1/4"
 Top-Of-Wall-To-Ridge Ht.: 9'-4 7/16"
 Exterior Stud Spacing: 16" O.C.
 Seismic Design: B

GENERAL NOTES:

- WALL BRACING, SPS 321.25 (8)
- CIRCUMSCRIBED RECTANGLES
 - EACH FLOOR PLAN LEVEL SHALL BE CIRCUMSCRIBED WITH ONE OR MORE RECTANGLES AROUND THE ENTIRE FLOOR PLAN AT THE FLOOR LEVEL UNDER CONSIDERATION. WHEN MULTIPLE RECTANGLES ARE USED, EACH SIDE SHALL BE BRACED AS THOUGH IT WERE A SEPARATE BUILDING AND THE BRACING AMOUNT ADDED TOGETHER ALONG THE COMMON WALL WHERE ADJACENT RECTANGLES OVERLAP OR ABUT.
 - EACH RECTANGLE SHALL HAVE A MAXIMUM RECTANGLE LENGTH-TO-WIDTH RATIO OF 3:1.
 - BRACED WALL PANEL (BWP) LOCATIONS: WITHIN 12'-0" FROM EACH SIDE AND 3'-0" FROM PANEL EDGE TO PANEL EDGE (SEE FIGURE 321.25-C).
 - ALL EDGES OF PANEL-TYPE BRACING, EXCEPT HORIZONTAL JOINTS IN GB BRACING, SHALL BE ATTACHED TO FRAMING OR BLOCKING.
 - THE INTERIOR SIDE OF ALL EXTERIOR WALLS SHALL BE SHEATHED WITH MINIMUM 1/2" GYPSUM WALLBOARD UNLESS OTHERWISE PERMITTED TO BE EXCLUDED BY THIS SUBSECTION. (THIS REQUIREMENT IS EXCLUDED IN PORTAL FRAME METHOD)
 - BRACING WITH CS-WSP SHALL HAVE SHEATHING INSTALLED ON ALL SHEATHABLE SURFACES ABOVE, BELOW, AND BETWEEN WALL OPENINGS.
 - EACH BRACED WALL PANEL MAY CONTAIN NO MORE THAN ONE HOLE, HAVING A MAXIMUM DIMENSION OF NO MORE THAN TEN PERCENT OF THE LEAST DIMENSION OF THE PANEL, AND CONTAINED TO THE MIDDLE THREE-FORTHS OF THE PANEL.
 - BLOCKING AND BRIDGING: 2" x 4" BRIDGING USED AT PARALLEL BOX SILL AND FLOOR JOIST. BRIDGING @ 32" O.C. IS THE SAME DEPTH AS THE JOIST.
 - WHERE JOISTS ARE PERPENDICULAR TO B.W.'S ABOVE OR BELOW, BLOCKING SHALL BE PROVIDED BETWEEN THE JOISTS AT BWP LOCATIONS TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.
 - WHERE JOISTS ARE PARALLEL TO B.W.'S ABOVE OR BELOW, A RM JOIST OR OTHER PARALLEL FRAMING MEMBER SHALL BE PROVIDED AT THE BWP TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.

WALL BRACING MATERIAL LEGEND

- (CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL)
- 3/8" THICK SHEATHING FOR MAX. 6' o.c. STUD BRACING
- 1/2" THICK SHEATHING FOR MAX. 24" o.c. STUD BRACING
- FASTEN WITH 6d COMMON NAIL OR 6d BOX NAIL (2 3/8" LONG x 0.13" DIA.) OR 16d 16" x 16" - ORIGIN 16 GAUGE STAPLES, 1 1/4" LONG
- MAXIMUM FASTENER SPACING:
 - 6" EDGES, 12" FIELD (NAILS) / 3" EDGES, 6" FIELD (STAPLES)

TABLE 321.25-H 8b
 MINIMUM WIDTHS OF CS-WSP BRACED WALL PANELS

MAXIMUM OPENING HEIGHT ADJACENT TO BRACED WALL PANEL	MINIMUM LENGTH OF FULL-HEIGHT BRACED WALL PANEL (INCHES)			
	8' TALL WALL	9' TALL WALL	10' TALL WALL	12' TALL WALL
5' - 4"	24	27	30	36
6' - 8"	32	30	30	36
8' - 0"	48	41	38	36
9' - 0"	-	54	46	41
10' - 0"	-	-	60	48
12' - 0"	-	-	-	72

4. SHEATHING SHALL EXTEND FROM TOP OF THE TOP PLATE TO THE BOTTOM PLATE AND MAY BE MULTIPLE SHEETS. ALL JOINTS SHALL BE BLOCKED.
 5. INTERPOLATION IS PERMITTED.

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE UNLICENSED SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

MAILING ADDRESS:
 P.O. BOX 10007
 GREEN BAY, WI 54307-0007

OFFICE:
 WISCONSIN TERRACE
 GREEN BAY, WI 54303
 PHONE (920)496-5080
 FAX (920)494-9870

Wisconsin
 BUILDING SUPPLY

PLAN COMMISSION MEETING OF 6/15/2021 AGENDA ITEM PLAT 2021-0001

AGENDA ITEM

TO: Diane Wessel, Village Administrator
Plan Commission

FROM: Andrew J. Vissers, AICP, Community Development Director

SUBJECT: PLAT 2021-0001 - Consider/Discuss/Act on the request by the Steve Bieda, Mau & Associates, LLP, Petitioner, on behalf of Paul Kosmoski, Moski Corporation, Owner, for approval of the Preliminary Plat of Willow Grove Third Addition, 25 single-family lots located west of Huron Road (County Highway EA), approximately 485' north of Willow Road (Parcel B-2882).

APPROVAL PROCESS: The recommendation of the Plan Commission will be forwarded to Village Board for consideration at their July 14, 2021 meeting.

STAFF RECOMMENDATION: Staff recommends conditional approval of the proposed final plat subject to the following conditions:

1. Approval of PDD 2021-0008.
2. Rename the Plat from Willow Grove Third Addition to Willow Grove Second Addition.
3. Submission of a Final Plat for review and approval to the Village of Bellevue.
4. Submission, review, approval, and signature from Brown County Planning Commission.
5. All easements as required by reviewing agencies.
6. Label the utility easement and front yard setback distances on the lots north of Evening Star Drive.
7. Provide a grading and drainage plan subject to review and approval by Director of Public Works.
8. Approval of a reduction of right-of-way width for Evening Star Court from 70' to 60'.
9. Provide the radius for the cul-de-sac on the plat.
10. Amend the plat to identify the 30' storm sewer and drainage easement to add access for pond maintenance.
11. Add a note regarding obstructions within the 30' storm sewer, drainage and access easement for Lot 92 on the plat.
12. Add a note and symbol to the plat that indicates that no access will be permitted to Huron Road (County Highway EA) from Lots 83, 84 and 87 through 92.
13. Sidewalks shall be provided on all lots on Evening Star Drive.

APPLICATION SUBMITTAL DATE: May 24, 2021 (Original Submittal)

ITEM SUMMARY: The applicant is proposing the Third Addition to the Willow Grove Subdivision. The proposed preliminary plat proposed to subdivide Parcel B-2882 into 25 single-family lots.

SURROUNDING ZONING AND LAND USES:

Subject Property: R-1 – Single-Family Residential District (Undeveloped land)

	Zoning District	Current use of property
North	A-2 – Agricultural Transition District	Undeveloped land
South	R-1 – Single-Family Residential District; P- Public Use District and B-2 – General Business District	Undeveloped land
East	R-1 – Single-Family Residential District and PDD – Planned Development District	Single-family, Willow Glen Clubhouse and undeveloped land
West	R-1 – Single-Family Residential District	Single-family dwellings

PROPOSED PLAT: The proposed Preliminary Plat is the Third Addition to the Willow Grove Subdivision. Parcel B-2882 is proposed to be subdivided into 25 single-family lots.

A proposed Planned Development District is associated with this request (see PDD 2021-0008) and is being considered concurrently that amends some of the space and area requirements for the lots south of Evening Star Drive and on Evening Star Court. If the proposed PDD is not approved, then the plat cannot be approved as proposed.

Staff questions the name Third Addition as there was the original Willow Grove subdivision and the First Addition that is directly to the west. Although this is the 3rd plat of the Willow Grove subdivision, it is the second addition to the original and therefore would recommend it be renamed to the Second Addition.

ACCESS/CIRCULATION:

Adjacent Streets: Future Evening Star Drive – 70’ Right-of-Way
Future Evening Star Court – 60’ Right-of-Way
Huron Road (County Highway EA) – Right of-Way Width
Varies

Discussion: The proposed plat will extend existing Evening Star Court to the west through to Huron Road (County Highway EA). In addition, it proposed a smaller cul-de-sac of Evening Star Court. All homes will have direct access to either Evening Star Drive or Evening Star

Court. A note shall be added to the plat that indicates proposed Lots 83, 84 and 87 through 92 shall not be permitted access to Huron Road (County Highway EA) and provide a

The applicant has requested that proposed Evening Star Court be reduced from 70' of right-of-way to 60' of right-of-way. The Village has approved this reduction in other subdivisions such as Somerset Fields and portions of Willow Glen. Staff Approval of the reduction will need to be accepted with consideration of the plat according to the Subdivision Ordinance. The proposed cul-de-sac radius shall still meet minimum requirements of a minimum right-of-way radius of 65 feet and a return radius of 25 feet as required by the Subdivision Ordinance and be shown on the plat.

DRAINAGE: The applicant/owner will be responsible for working with the Village of Bellevue on all drainage associated with the subject property, and for compliance with the Village of Bellevue Storm Water Ordinance. An existing stormwater pond is directly south of the proposed plat. This was installed when Huron Road (County Highway EA) was urbanized to take into account the road as well as future adjacent development. The applicant shall verify that the pond can accommodate the proposed development as it was designed and provide any necessary easements. Also, the 30' wide storm sewer and drainage easement shall be amended to include access as the Village owns the pond but will need to ensure access is permitted for any future maintenance needs. As it would be an access easement, no fences or obstructions will be permitted within the easement of proposed Lot 92 and staff recommends a note be added to the plat. Staff will need to review if an easement will be needed to be added along the rear of Lots 93 & 94 for maintenance and access to the stormwater pond as well.

CONSISTENCY WITH ADOPTED PLANS: The adopted Village of Bellevue Pedestrian and Bicycle Plan identifies sidewalks on Evening Star Drive. All home constructed on evening Star Drive shall construct a sidewalk.

The Comprehensive Outdoor Recreation Plan (CORP) identifies a neighborhood park for this general area or area to the north of this plat. A neighborhood park is typically less than an acre. Staff would encourage discussions with the Park, Recreation and Forestry Director to discuss current or future options for a possible neighborhood park location.

OPPOSITION TO OR SUPPORT OF REQUEST: Staff has not received any comments either in opposition to or in support of the proposed Preliminary Plat.

ATTACHMENTS:

- Application
- Location Map
- Letter of Intent
- Proposed Preliminary Plat
- Staff Comments

Action:



REQUEST FOR DEVELOPMENT APPROVALS

2828 Allouez Avenue Bellevue, WI 54311 (920) 468-5225
Fax (920) 468-4196 email: andreww@villageofbellevue.org

Application Number: _____ Parcel Number: B-2878, R-2882

Name of Owner (Individual, Corp., etc.) Moski Corporation

Contact Name Paul Kosmaki Lot Outlet 6, 6+58 Willow Grove 1st Add

Address 1270 Main St. Green Bay, WI 54302 Phone 920-432-9250

Email paul@kosmanagement.com Fax _____

Name of Applicant/Contact Person (if different from Owner). Only applicant will be notified for meetings and public hearing.

Name of Contact Person Steve Breda, Mau & Associates

Name of Firm/Company Mau & Associates Phone 920 434 8670

Mailing Address 900 Security Blvd Ste #11 Fax _____

Email sbreda@mau-associates.com

Type of Request (check all that apply):

- Official Map Amendment/ADP
- Planned Development District
- Subdivision Plat Map
- Comp. Plan Amendment
- Conditional Use (Supplement "A" Req'd)
- Certified Survey Map
- Re-Zoning Request
- Zoning Approval (Supplement "A" Req'd)
- Zoning Ordinance Amd.

Address of Affected Property 3285 Willow Rd, 5th Area Rd Current Zoning A-2

Owner Signature [Signature] (Agent) Date 5-21-21

Note: No request for re-zoning will be placed on the agenda without the signature of the property owner(s).

Required Submittal Documents:

- Legal Description
- Detail Map of Area
- Letter of Intent indicating the specifics of request
- Appropriate Exhibits for processing

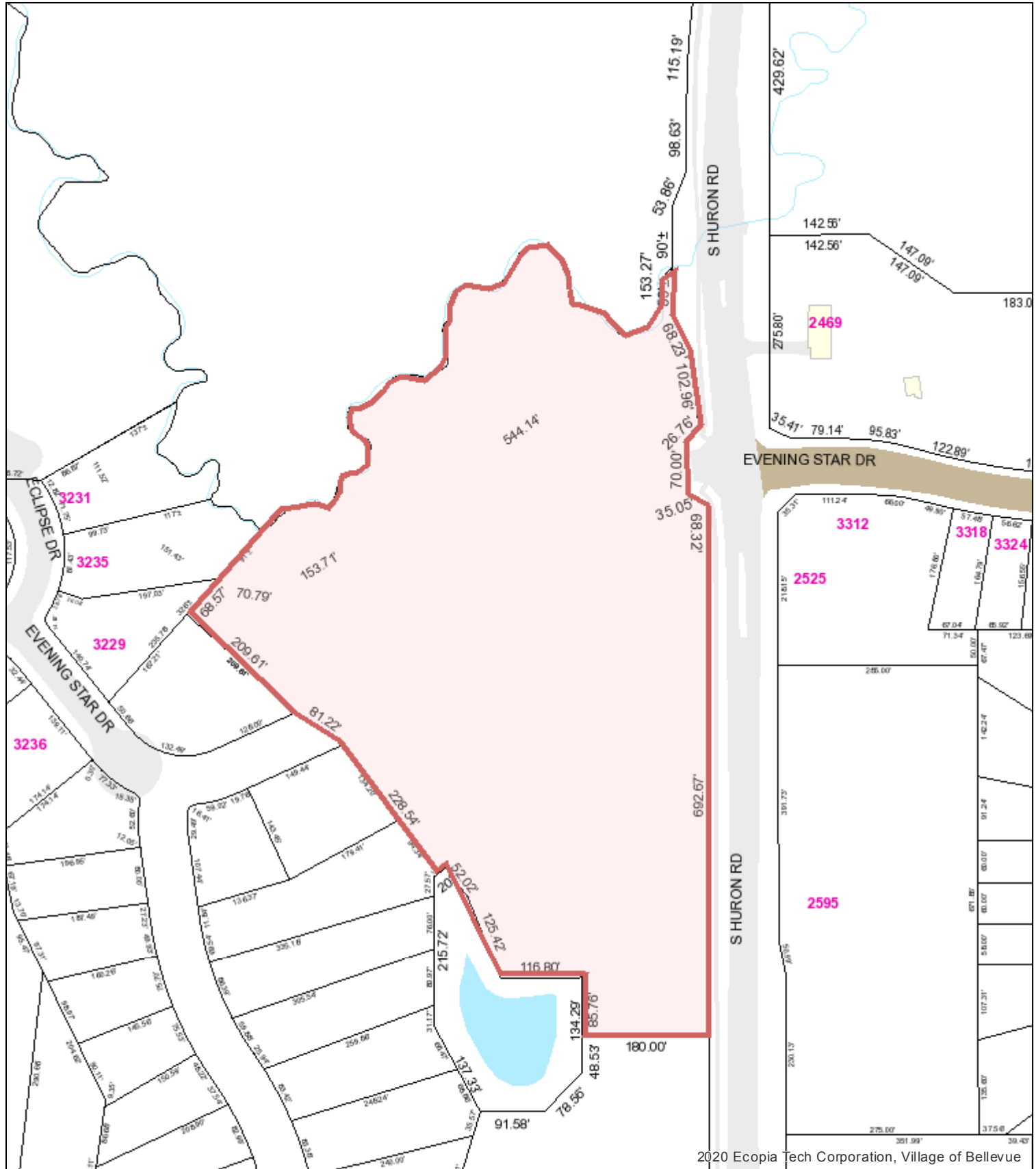
FOR OFFICE USE ONLY: Review Fees (check all that apply)

ADP/Official Map Amendment \$350 _____	Preliminary Plat \$200 +\$35/lot <u>2/015</u>	Preliminary PDD \$500 <u>*</u>
Conditional Use Request \$350 _____	Final Plat \$100 _____	Final PDD \$300+ \$100/M>1M _____
Certified Survey Map \$175 _____	Comp. Plan Amendment \$350 _____	PDD Amendments \$350 _____
Rezoning Request \$250 _____	Extra CSM/Plat \$100 _____	Zoning Ordinance Amd. \$1000 _____
Amount Paid: <u>\$ 1,075 and \$ 500</u>	Date Paid: <u>5/25/21</u>	Receipt Number: <u>15001260 + 15001259</u>



PLAT 2021-0001

Village of Bellevue, Wisconsin



2020 Ecopia Tech Corporation, Village of Bellevue



Map provided by the Village of Bellevue's Internal Interactive Web Mapping System
 Please visit: www.villageofbellevue.org/GIS to access Bellevue's Interactive Web Mapping System.

This map is intended for advisory purposes only. The data presented has been compiled from various sources, each of which introduces varying degrees of inaccuracies or inconsistencies. Such discrepancies in data are inherent. The Village of Bellevue assumes no liability for its use or accuracy.

Date: 6/11/2021

Reference Scale: 1:0

0 0.0225 0.045 mi

Legend

Site Location

MAU & ASSOCIATES-LLP
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
400 SECURITY BOULEVARD ♦ GREEN BAY, WI 54313 ♦ PHONE (920) 434 - 9670 ♦ FAX (920) 434 - 9672

May 25, 2021

Village of Bellevue
2828 Allouez Avenue
Bellevue, WI 54311

Re: Rezoning R1 PDD overlay and preliminary plat request for and B-2882

Dear Village of Bellevue Plan Commission,

Please accept this application for rezoning to allow a planned development district at the R1 zoning on the above stated parcel along with an accompanying preliminary plat.

The property is currently owned by MOSKI Corporation and to be developed partly by MOSKI Corporation and partly by BenBartoProperties LLC. The project is located is located along South Huron Road (CTH EA) and Willow Road. The proposed subdivision site contains 25 single family residential lots. Each lot will be owned individually. Similar to the adjacent Willow Grove Subdivisions to the West, the single family residential lots along the North side of Evening Star Drive will comply with standard R1 zoning requirements. Lots along the South side of Evening Star Drive and throughout Evening Star Court will be narrower to accommodate predesigned home options. House plan could vary slightly but would need to comply with the setbacks. The Lots along the South side of Evening Star Drive and throughout Evening Star Court are intended for empty-nesters or business professionals seeking smaller spaces yet quality construction. There will be 3-4 options for home layouts all with 2 or 3 bedrooms and 2 bathrooms. Exterior construction to made up of a mixture of materials. The depicted house footprint plans are included in the packet of information accompanying this application.

The following R1 code variations are noted:

500-504

Single family dwelling minimum lot area. Request to allow minimum lot size of 8125 square feet, rather than 11,000 square feet.

Single family minimum lot width. Request to allow minimum lot width of 65 feet, rather than 80 feet.

Primary building setback requirements. Request to allow 25 foot front yard and corner yard setback, rather than 30 feet.

Primary building setback requirements. Request to allow 7 foot side yard setback, rather than 8 feet.

Primary building setback requires. Request lot frontage measured at right of way line of a cul de sac to allow 46 feet minimum, rather than 60 feet.

If you have any questions or comments, please feel free to contact me directly.

Thank you,

Steven M. Bieda
Mau & Associates

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration

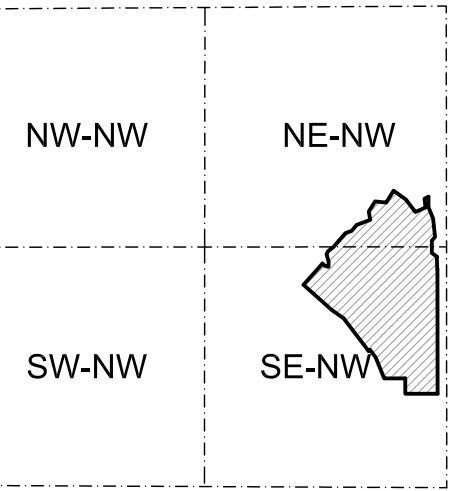
Willow Grove Third Addition

All of Outlot 6 of the recorded "Willow Grove 1st Addition" (Volume 24, Plats, Page 172, Document Number 2955083, Brown County Records), said Lot being further located in part of the Northeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ and the Southeast $\frac{1}{4}$ of the northwest $\frac{1}{4}$ of Section 23, T23N-R21E, in the Village of Bellevue, Brown County, Wisconsin.

Graphic Scale



Location Sketch



Section 23, T23N-R21E
Village of Bellevue
Brown County
Wisconsin

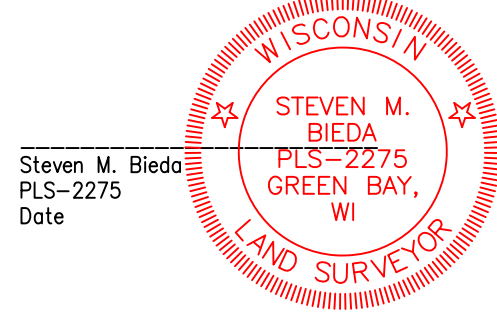
Office of the Register of Deeds
Brown County, Wisconsin

Received for Record _____, 20____
at _____ o'clock _____ M and recorded as
Document # _____ in _____
Volume _____ of _____ on Page _____

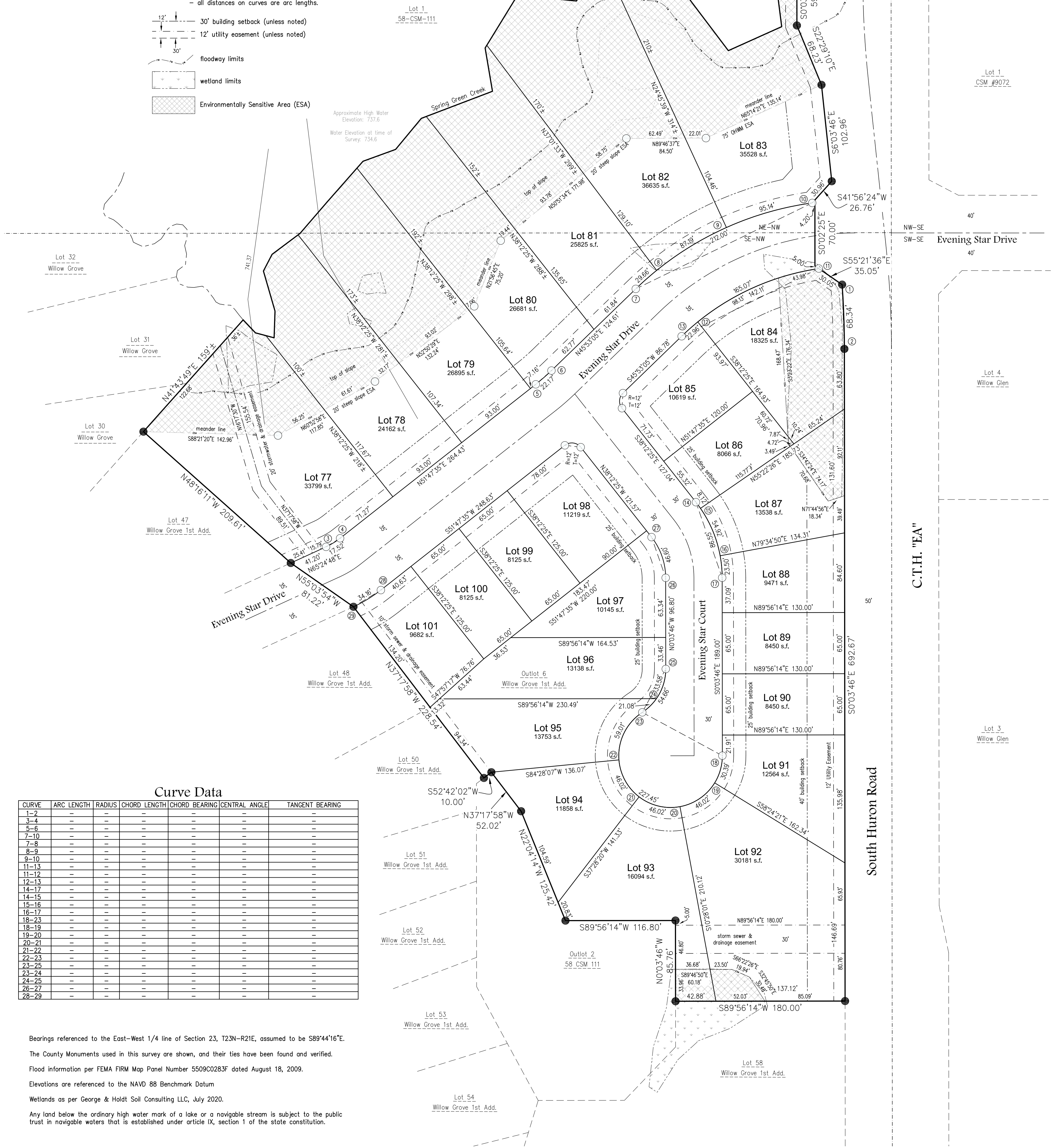
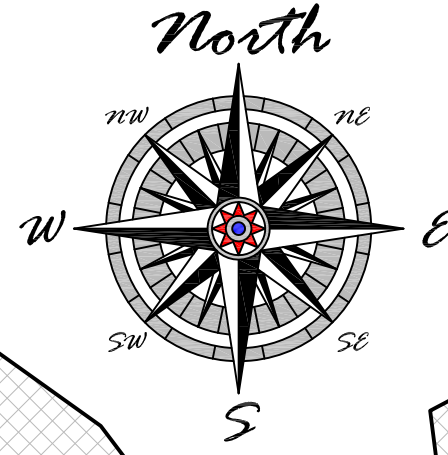
Cheryl Berken, Register of Deeds

Legend

- 2.38" (o.d.) x 18" iron pipe weighing 3.65 lbs./lin. foot set
- 2" iron pipe found
- 1" iron pipe found
- ⊕ Brown County monument - type noted
- all other lot and meander corners marked with a 1.32" (o.d.) x 18" iron pipe weighing 1.68 lbs./lin. foot
- all linear measurements have been made to the nearest hundredth of a foot.
- all distances on curves are arc lengths.
- 30' building setback (unless noted)
- 12' utility easement (unless noted)
- floodway limits
- wetland limits
- Environmentally Sensitive Area (ESA)



Steven M. Bieda
PLS-2275
Date _____



Curve Data

CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING	CENTRAL ANGLE	TANGENT BEARING
1-2						
3-4						
5-6						
7-10						
7-8						
8-9						
9-10						
11-13						
11-12						
12-13						
14-17						
14-15						
15-16						
16-17						
18-23						
18-19						
19-20						
20-21						
21-22						
22-23						
23-25						
23-24						
24-25						
26-27						
28-29						

Bearings referenced to the East-West 1/4 line of Section 23, T23N-R21E, assumed to be S89°44'16"E.

The County Monuments used in this survey are shown, and their ties have been found and verified.

Flood information per FEMA FIRM Map Panel Number 5509C0283F dated August 18, 2009.

Elevations are referenced to the NAVD 88 Benchmark Datum

Wetlands as per George & Holdt Soil Consulting LLC, July 2020.

Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1 of the state constitution.

DRAWING NO.
P-2479

SHEET NO.
1 of 2

PROJECT NO.
K-16805

Ben Bartolazzi

Mau & Associates, LLP
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Website: www.mau-associates.com
400 Security Blvd Ste 1, Green Bay, WI 54313-9712

TAX PARCEL NO. B-2882

**Willow Grove
Third Addition**

SCALE
1"=60'

DRAWN BY
BAR

Willow Grove Third Addition

All of Outlot 6 of the recorded "Willow Grove 1st Addition" (Volume 24, Plats, Page 172, Document Number 2955083, Brown County Records), said Lot being further located in part of the Northeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ and the Southeast $\frac{1}{4}$ of the northwest $\frac{1}{4}$ of Section 23, T23N-R21E, in the Village of Bellevue, Brown County, Wisconsin.

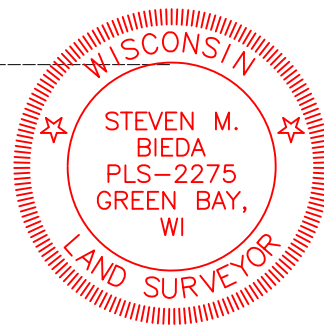
SURVEYOR'S CERTIFICATE

I, Steven M. Bieda, Professional Land Surveyor, PLS-2275, hereby certify:

That in full compliance with the provisions of Chapter 236, Wisconsin Statutes, and the subdivision regulations of the the Village of Bellevue and the Brown County Planning Commission and under the direction of the owners listed herein, I have surveyed, divided and mapped "Willow Grove Third Addition", and that such plot correctly represents all exterior boundaries and the subdivision of the land surveyed and is all of Outlot 6 of the recorded "Willow Grove 1st Addition" (Volume 24, Plats, Page 172, Document Number 2955083, Brown County Records), said Lot being further located in part of the Northeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ and the Southeast $\frac{1}{4}$ of the northwest $\frac{1}{4}$ of Section 23, T23N-R21E, in the Village of Bellevue, Brown County, Wisconsin.

Parcel contains 490,503 square feet / 11.26 acres more or less, including all lands lying between the meander line and the centerline of Spring Green Creek.
Road dedication contains 63,764 square feet / 1.46 acres more or less.
Parcel subject to easements and restrictions or record.

Steven M. Bieda
PLS-2275
May 19, 2021



CORPORATE OWNER'S CERTIFICATE

_____ a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, does hereby certify that we caused the land described on Willow Grove Third Addition to be surveyed, divided, mapped and dedicated as represented herein. _____ also certifies that this Plat is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection:

VILLAGE OF BELLEVUE
BROWN COUNTY PLANNING COMMISSION
DEPT. OF ADMINISTRATION

In Witness Whereof, the said _____ has caused these presents to be signed by Ben Bartolazzi, its Member, on this ____ day of _____, 20__.

Ben Bartolazzi Member

Personally came before me this ____ day of _____, 20__, the above named Member of said Corporation and acknowledged that he executed the foregoing instrument as such Member as the deed of said Corporation, by its authority.

Notary Public My Commission Expires _____
Brown County, Wisconsin

STATE OF WISCONSIN]
] SS
COUNTY OF BROWN]

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by _____ Grantor, to

WISCONSIN PUBLIC SERVICE CORPORATION, a Wisconsin corporation, Grantee,

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across, within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than six inches without written consent of grantees. This Utility Easement Provision does not prevent or prohibit others from utilizing or crossing the Utility Easement as the Utility easement(s) are non-exclusive.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

CERTIFICATE OF THE VILLAGE OF BELLEVUE TREASURER

As duly elected Village of Bellevue Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Plat as of the dates listed below.

_____ Date
Karen Simons
Village Clerk - Village Treasurer

CERTIFICATE OF THE BROWN COUNTY PLAN COMMISSION

Approved for the Brown County Plan Commission this ____ day of _____, 20__.

_____ Date
Dan Teaters
Senior Planner

CERTIFICATE OF THE VILLAGE OF BELLEVUE

Approved for the Village of Bellevue this ____ day of _____, 20__.

_____ Date
Angela Gorall
Village Administrator

CERTIFICATE OF THE BROWN COUNTY TREASURER

As duly elected Brown County Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Plat as of the dates listed below.

_____ Date
Paul D. Zeller
Brown County Treasurer

NOTES

The property owners, at the time of construction, shall implement the appropriate soil erosion control methods outlined in the Wisconsin Construction Site Erosion and Sediment Control Technical Standards (available from the Wisconsin Department of Natural Resources) to prevent soil erosion. However, if at the time of construction the Village has adopted a soil erosion control ordinance, it shall govern over this requirement. This provision applies to any grading, construction, or installation-related activities.

Lots _____ include wetland areas that may require permits from the Wisconsin Department of Natural Resources, Army Corps of Engineers, Brown County Planning Commission, or the local municipality's Zoning Administrators Office prior to any development activity.

A Shoreland Permit from the Brown County Zoning Administrator's office is required for Lots _____ prior to any construction, fill, excavation or grading activity within 300 feet of the Ordinary High Water Mark (OHWM) of navigable rivers or streams, or to the landward side of the floodplain, whichever is greater, any/or 1000' of the OHWM of navigable lakes, ponds or flowages.

RESTRICTIVE COVENANTS

The land on all side and rear lot lines of all lots shall be graded by the lot owner and maintained by the abutting property owners to provide for adequate drainage of surface water.

Each lot owner shall grade the property to conform to the adopted sidewalk grade elevation and maintain said elevation for future sidewalks.

No poles, pedestals or buried cable are to be placed so as to disturb any survey stake or obstruct vision along any lot lines or street line, a disturbance of a survey stake by anyone is a violation of section 236.32 of the Wisconsin Statutes.

The following shall be enforced by the Village of Bellevue: The land on all side lot lines containing drainage easements and all rear lot lines shall be graded at the time of initial plat development by the developer and/or agents according to the Village approved and WDNR accepted stormwater management plan in conformance with the requirements of the of Bellevue Stormwater Utility. Individual lot owners and/or agents shall not change the Village approved and established lot grades".

The following shall be the sole responsibility of the abutting property owners: All side and rear lot lines not regulated by the Bellevue Stormwater Utility shall be graded and maintained in cooperation with abutting property owners, so as to neither impede the flow of stormwater, nor negatively impact any abutting property, while functioning in harmony with the established Village approved and WDNR accepted stormwater management plan.

Lots _____ contain an environmentally sensitive area (ESA) as defined in the Brown County Sewage Plan. The ESA includes wetlands, all land within 35 feet of wetlands 2 acres or greater, floodway, all land within 35 feet of the floodway or 75 feet beyond the ordinary high water mark -whichever is greater, navigable waterways, all land within 75 feet of the ordinary high water mark of navigable waterways, steep slopes of 20% or greater associated with any aforementioned water or natural resource features and a 20-foot setback from top and bottom of steep slopes. Development and land disturbing activities are restricted in the ESA unless amendments are approved by the Brown County Planning Commission and the Wisconsin Department of Natural Resources.

SCALE

DRAWN BY
BAR

TAX PARCEL NO. B-2882
**Willow Grove
Third Addition**
Data File: K-16805.txt
Flatwork Complete: xx/xx/xx

Mau & Associates, LLP

LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Website: www.mau-associates.com
400 Security Blvd Ste 1, Green Bay, WI 54313-9712

Ben Bartolazzi

File: K-16805Final Plat 3rd Addition 051821.dwg

PROJECT NO.
K-16805

SHEET NO.
2 of 2

DRAWING NO.
P-2479

Andrew Vissers

From: Thad Majkowski <thad.majkowski@cedarcorp.com>
Sent: Tuesday, June 08, 2021 9:49 PM
To: Andrew Vissers
Cc: Steve Kubacki
Subject: Bellevue - Willow Grove 3rd Addition - Preliminary Plat 2021-0001 - DPW Review

CAUTION!

This email originated from outside of your organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Andrew,

The Preliminary Plat was dropped in my mailbox. I do not have the form, so I am replying via email.

1. Evening Star Court right of way is 60 feet, less than standard; however, as we discussed, it has been approved for specific areas recently. With a reduced right of way, what will the reduced road width be proposed?
2. With the reduced right of way, the cul de sac radius is not shown. That should be reviewed to determine the size of the curb section for fire truck access.
3. No access to S Huron Rd from Lots 83-92.
4. Storm Water treatment. How will the storm water from the roads be treated? If they are to discharge to the existing pond off the cul de sac, there will need to be an easement for the storm sewer to the Pond.

These are all I had from the Preliminary Review.

Thanks

Thad M. Majkowski, P.E.

Director

Cedar Corporation

1695 Bellevue Street | Green Bay | WI | 54311

Office: 920-491-9081 | TF: 800-472-7372

Direct: 920-785-7302 | Mobile: 920-655-7929

thad.majkowski@cedarcorp.com

www.cedarcorp.com | [LinkedIn](#) | [Facebook](#) | [Twitter](#)

This e-mail and any attachments may contain proprietary and confidential information from Cedar Corporation. Please visit our website at <http://www.cedarcorp.com/disclaimer> for more details.

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COMMUNITY DEVELOPMENT ITEM REVIEW SHEET

Date: 5/25/2021
Case Number: PLAT 2021-0001
Anticipated Planning Commission Date: 6/15/2021
Comments Due back to Planning: 6/9/2021
Planner Assigned: Andrew J. Vissers
Reviewer: ADAM WASZAK
Department: PARK, REC + FORESTRY
Applicant/Contact: Steve Bieda (Mau & Associates) 920-434-9670
Description: Preliminary Plat of Willow Grove Third Addition (Reduced ROW for Evening Star Court)

* DEVELOPER STREET TREE FEE ESTIMATE ATTACHED

* POTENTIAL LAND DEDICATION (MINI-PARK) IN LIEU OF IMPACT FEES.

Less than 1 acre for a mini park

PLAN COMMISSION MEETING OF 6/15/2021 AGENDA ITEM PLAT 2021-0003

AGENDA ITEM

TO: Diane Wessel, Village Administrator
Plan Commission

FROM: Andrew J. Vissers, AICP, Community Development Director

SUBJECT: PLAT 2021-0003 – Consider/Discuss/Act on the request by the Ryan Van Straten, Alliance Management, Petitioner, on behalf of Robert J & Erin M Hoekstra, Crystal Cove, LTD, and Bel Meadows Partners, LLP, for approval of the Final Plat of Crystal Cove Subdivision, a mixture of 14 lots located generally on the north side of Hoffman Road (County Highway XX) and west of Bellevue Street (County Highway XX) Parcels B-296, B-300, B-2506, B-2507-1, & B-2508.

APPROVAL PROCESS: The recommendation of the Plan Commission will be forwarded to Village Board for consideration at their June 23, 2021 meeting.

STAFF RECOMMENDATION: Staff recommends conditional approval of the proposed final plat subject to the following conditions:

1. Review, approval, and signature from Brown County Planning Commission.
2. All easements as required by reviewing agencies.
3. Identify a 12' utility easement along all the road frontages for all Lots.
4. Identify the required front yard setbacks for proposed Lots from adjacent streets.
5. Provide grading and drainage plan subject to review and approval by Director of Public Works.
6. Change the title block from "Village of Bellevue Resolution" to "Certificate of Village of Bellevue".
7. Add all the standard Notes and Restrictive Covenants to the Plat.
8. All new driveways will require approval from the Brown County Highway Department when connecting to a Brown County Highway facility. A note shall be added to the proposed Plat to that condition.
9. A copy of the recorded document shall be provided to the Village of Bellevue electronically by the applicant.
10. Utility easements identified on Lots 9 and 10 and running between Lots 12 and 13 are for private utilities and not intended for public use. A note should be added to the Plat indicating as such.
11. As Lots 8 and 11-14 are intended to be dedicated to the Village through an agreement, they should be combined as one Lot.
12. Payment of street tree fees for all residential lots prior to recording.

APPLICATION SUBMITTAL DATE: May 24, 2021 (Original Submittal)

ITEM SUMMARY: The applicant is proposing to plat the lots associated with the Crystal Lake and Crystal Cove Apartments expansion in conformance with the approved Planned Development District (see PDD 2021-0007) for the subject properties. The preliminary plat was approved by the Village Board at the June 9, 2021 regularly scheduled meeting.

SURROUNDING ZONING AND LAND USES:

Subject Property: PDD – Planned Development District (Crystal Lake and Crystal Cove residences and undeveloped land)

	Zoning District	Current use of property
North	A-2 – Agricultural Transition District, R-2 – Two-Family Residential District and P – Public Use District	Mossakowski Family Dog Park, single-family and two-family dwellings
South	R-1 – Single-Family Residential District, P- Public Use District, A-1 – Exclusive Agricultural District, and PDD – Planned Development District	Single-family dwellings and undeveloped land
East	R-1 – Single-Family Residential District and R-2 – Two-Family Residential District	Single-family and Two-family dwellings
West	P - Public Use District,	Undeveloped land

PROPOSED PLAT: The proposed Final Plat is associated with the existing Crystal Lake and Crystal Cove development as well as the proposed expansion approved with the Planned Development District approved by the Village (see PDD 2021-0007).

The Final Plat has redrawn lots associated with the existing development. Lot 9 will contain the Crystal Lake existing development and the western part of the expansion. Lot 10 will contain the existing Crystal Cove development and the eastern component of the expansion. Lots 1-7 and 11-14 were identified as future single-family dwelling lots and are sized in compliance with the R-1 – Single-Family Residential District. That being said, Lot 8 and Lots 11-14 are intended to be dedicated to the Village in lieu of paying Park Impact Fees for the expansion. The Village Board approved the MOU and staff will be working on the official agreement. Staff would question that if they are intended to be dedicated, that they should all be one lot to avoid the Village having to do a combination CSM in the future as property lines will impact placement of future park and recreation facilities in regard to setbacks.

There are a number of standard items that typically appear on plats that we are recommended to be added as this item advances. Numerous existing easements and well as notes and covenants are not shown. Those will need to be identified on the plat.

ACCESS/CIRCULATION:

Adjacent Streets: Hoffman Road (County Highway XX) – 80’ Right-of-Way
Bellevue Street (County Highway XX) – 80’ Right-of-Way

Discussion: Proposed Lots 9 and 10 will contain the existing Crystal Lake and Crystal Cove Apartment developments along with the proposed expansion. The development will continue to utilize the existing entrance located on Bellevue Street as the only access point. There is an existing emergency access point north of that primary access on Bellevue Street as well as another emergency access point proposed along Hoffman Road. The proposed single-family properties and other properties are along Hoffman Road (County Highway XX) and would take direct access to that facility. All new driveways will require approval from the Brown County Highway Department when connecting to a Brown County Highway facility.

DRAINAGE: The applicant/owner will be responsible for working with the Village of Bellevue on all drainage associated with the subject property, and for compliance with the Village of Bellevue Storm Water Ordinance. Staff questions how the future home sites along Hoffman will drain and if easements are needed for drainage and stormwater management.

OPPOSITION TO OR SUPPORT OF REQUEST: Staff has not received any comments either in opposition to or in support of the proposed Final Plat.

ATTACHMENTS:

- Application
- Location Map
- Letter of Intent
- Proposed Final Plat
- Staff Comments

Action:



REQUEST FOR DEVELOPMENT APPROVALS

2828 Allouez Avenue Bellevue, WI 54311 (920) 468-5225
Fax (920) 468-4196 email: andrewv@villageofbellevue.org

Application Number: _____ Parcel Number: B-296 and B-300

Name of Owner (Individual, Corp., etc.) Robert J Hoekstra and Erin M Hoekstra

Contact Name Ryan Van Straten - Alliance Management Lot B-296 and B-300

Address 1530 Crystal Lake Circle Green Bay, WI 54311 Phone 920.562.1481

Email Ryan@alliancewi.com Fax _____

Name of Applicant/Contact Person (if different from Owner). Only applicant will be notified for meetings and public hearing.

Name of Contact Person Ryan Van Straten

Name of Firm/Company Alliance Management Phone 920.562.1481

Mailing Address 1530 Crystal Lake Circle Green Bay, WI 54311

Fax _____

Email Ryan@alliancewi.com

Type of Request (check all that apply):

- Official Map Amendment/ADP
- Planned Development District
- Subdivision Plat Map
- Comp. Plan Amendment
- Conditional Use (Supplement "A" Req'd)
- Certified Survey Map
- Re-Zoning Request
- Zoning Approval (Supplement "A" Req'd)
- Zoning Ordinance Amd.

Address of Affected Property 2526 Bellevue St

Current Zoning R-1, A-2, and R-2

Owner Signature

Date 5/21/21

Note: *No request for re-zoning will be placed on the agenda without the signature of the property owner(s).*

Required Submittal Documents:

- Legal Description
- Detail Map of Area
- Letter of Intent indicating the specifics of request
- Appropriate Exhibits for processing

FOR OFFICE USE ONLY: Review Fees (check all that apply)

ADP/Official Map Amendment \$350 _____	Preliminary Plat \$200 +\$35/lot _____	Preliminary PDD \$500 _____
Conditional Use Request \$350 _____	Final Plat \$100 _____	Final PDD \$300+ \$100/M>1M _____
Certified Survey Map \$175 _____	Comp. Plan Amendment \$350 _____	PDD Amendments \$350 _____
Rezoning Request \$250 _____	Extra CSM/Plat \$100 _____	Zoning Ordinance Amd. \$1000 _____

Amount Paid: _____

Date Paid: _____

Receipt Number: _____

Location Map PLAT 2021-0003

Village of Bellevue, Wisconsin



Brown County, Village of Bellevue



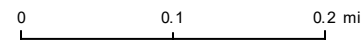
Map provided by the Village of Bellevue's Internal Interactive Web Mapping System

Please visit: www.villageofbellevue.org/GIS to access Bellevue's Interactive Web Mapping System.

This map is intended for advisory purposes only. The data presented has been compiled from various sources, each of which introduces varying degrees of inaccuracies or inconsistencies. Such discrepancies in data are inherent. The Village of Bellevue assumes no liability for its use or accuracy.

Date: 5/27/2021

Reference Scale: 1:0



Legend

 Site Location



Thursday, June 10, 2021

Andrew Vissers
Village of Bellevue
2828 Allouez Ave
Bellevue, WI 54311

RE: Crystal Lake Leased Residences – Phase 2

Dear Mr. Vissers and Plan Commission Members:

Thank you for your time reviewing our project. In order to proceed with the PDD that was approved on April 28th, we will need to sub-divide the existing parcels. We are requesting approval of a CSM to separate the farmhouse that was part of the large original parcel. This is the only change resulting from the CSM. We are also requesting approval of a new plat that will subdivide the land further. We are proceeding with both requests rather than just including everything in the plat request because the CSM process is faster and it will allow us to close on the purchase of the vacant land more quickly.

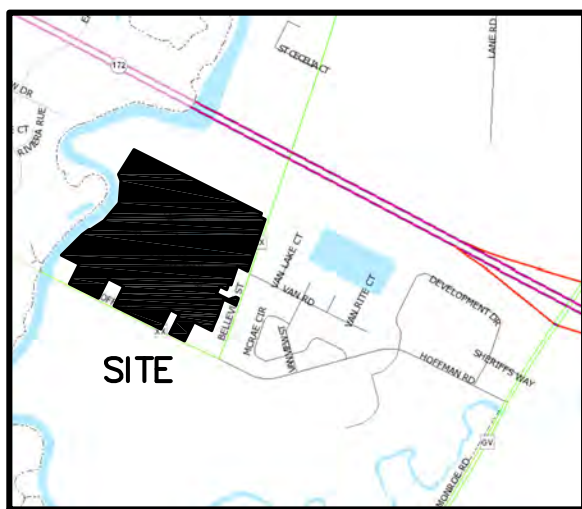
Lots 1-7 are intended to be sold as vacant lots to be developed as single family homes. Lots 8 and 12-15 are all planned to be donated to the Village of Bellevue. Lot 9, which is the Crystal Lake property, will have the land planned for our 48 unit “phase 2” project added. The purpose of adding this land to the Crystal Lake parcel is to provide flexibility for ownership in how the project is financed. Lot 11 is the farmhouse that was originally part of the larger parcel and this will be retained by the current owner. Finally, lot 10 is our 24 unit Crystal Cove property. The land for the 90 unit “phase 1” project will be added and combined with the two existing parcels.

The final result of our requested division of land is in line with the PDD that was approved by Bellevue and nothing about our plan has changed from what was originally presented during the PDD process.

Sincerely,
Ryan Van Straten

CRYSTAL COVE

Part of Lots 1, 2 and 3 of Certified Survey Map recorded in Volume 56, Pages 65 through 71, and Part of Private Claims 21, 22, and 23, East Side of Fox River, Village of Bellevue, Brown County, Wisconsin.

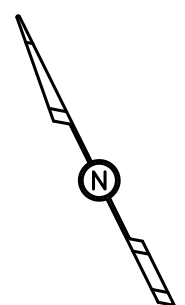


LOCATION MAP

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration

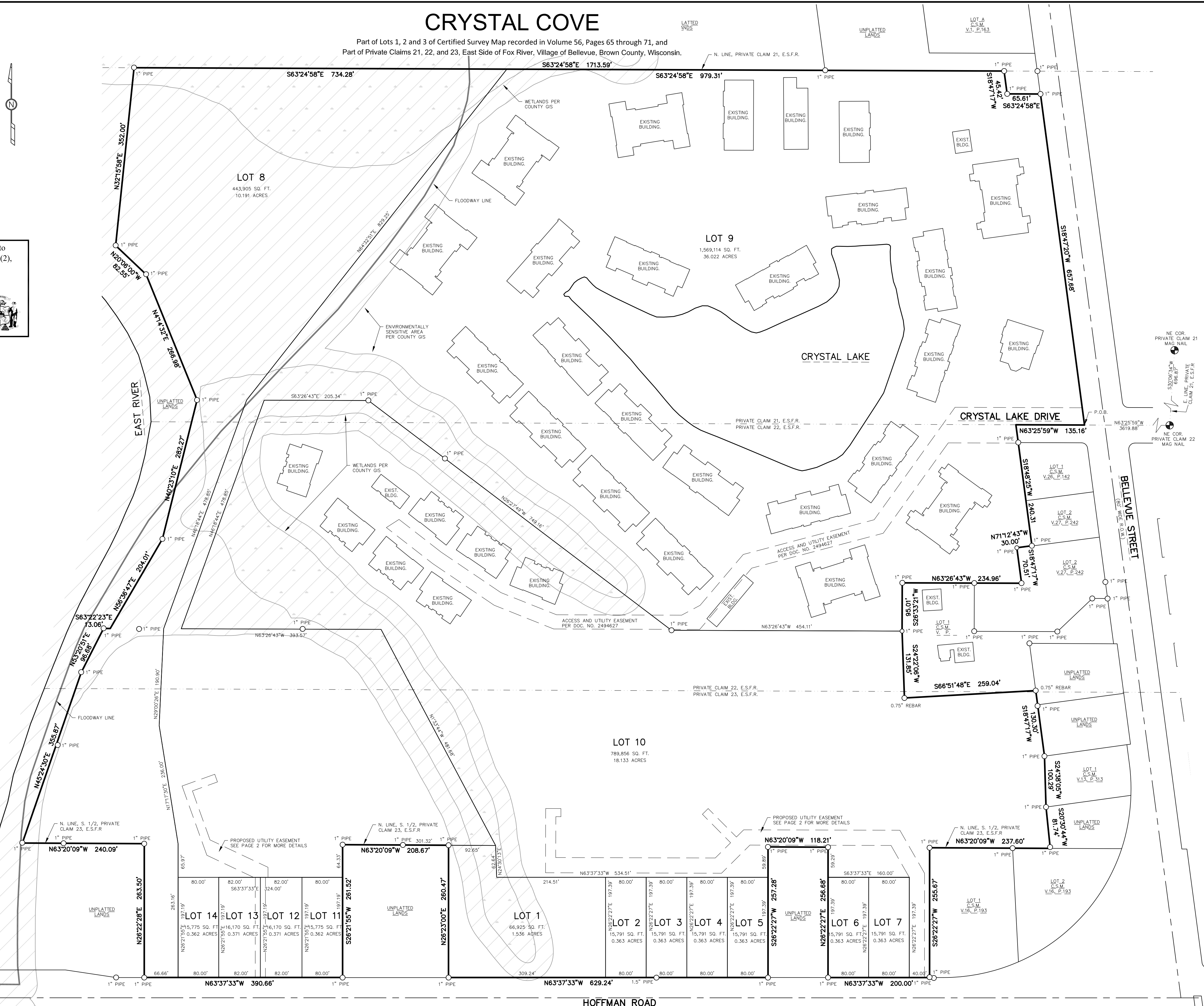
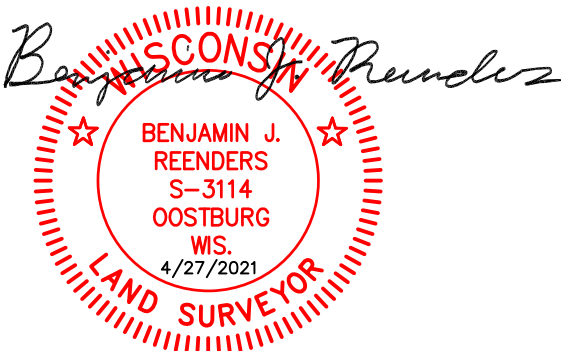


Scale: 1" = 100'

BEARINGS ARE REFERENCED TO THE EAST LINE OF PRIVATE CLAIM 21, EAST SIDE OF THE FOX RIVER AS MONUMENTED, AS BEING S32°06'54"W PER THE BROWN COUNTY COORDINATE SYSTEM

LEGEND

- = Found Property Corner
- = Set 1-1/4"x18" Rebar min. 3.65 lbs. per foot
- = Set 3/4"x18" Rebar min. 1.13 lbs. per foot at all other lot corners
- ⊕ = Section Corner Monument



CRYSTAL COVE

Part of Lots 1, 2 and 3 of Certified Survey Map recorded in Volume 56, Pages 65 through 71, and Part of Private Claims 21, 22, and 23, East Side of Fox River, Village of Bellevue, Brown County, Wisconsin.

SURVEYOR'S CERTIFICATE

I, Benjamin J. Reenders, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped part of Lots 1, 2 and 3 of Certified Survey Map recorded in Volume 56, Pages 65 through 71, and part of Private Claims 21, 22 and 23, East Side of the Fox River, Village of Bellevue, Brown County, Wisconsin bounded and described as follows:

Commencing at the Northeast Corner of said Private Claim 21; thence S30°06'34"W 696.87 feet along the East line of said Private Claim 21 to the Northeast Corner of said Private Claim 22; thence N63°25'59"W 3619.88 feet along the North line of said Private Claim 22 to the POINT OF BEGINNING of this description; thence N63°25'59"W 135.16 feet along said North line; thence S18°48'25"W 240.31 feet along the East line of said Lot 1; thence N71°12'43"W 30.00 feet; thence S18°47'17"W 70.51 feet; thence N63°26'43"W 234.96 feet; thence S26°33'21"W 95.01 feet; thence S24°22'06"W 131.85 feet; thence S66°51'48"E 259.04 feet; thence S18°47'17"W 130.30 feet; thence S24°38'05"W 100.29 feet; thence S20°30'44"W 81.74 feet; thence N63°20'09"W 237.60 feet along the North line of the South 1/2 of said Private Claim 23; thence S26°22'27"W 255.67 feet; thence N63°37'33"W 200.00 feet along the North right-of-way line of Hoffman Road; thence N26°22'27"E 256.68 feet; thence N63°20'09"W 118.21 feet along the North line of the South 1/2 of said Private Claim 23; thence S26°22'27"W 257.28 feet; thence N63°37'33"W 629.24 feet along the North right-of-way line of Hoffman Road; thence N26°23'00"E 260.47 feet; thence N63°20'09"W 208.67 feet along the North line of the South 1/2 of said Private Claim 23; thence S26°21'55"W 261.52 feet; thence N63°37'33"W 390.66 feet along the North right-of-way line of Hoffman Road; thence N26°22'28"E 263.50 feet; thence N63°20'09"W 240.09 feet along the North line of the South 1/2 of said Private Claim 23; thence N45°24'30"E 355.87 feet; thence N53°20'51"E 96.68 feet; thence S63°22'23"E 13.06 feet; thence N56°36'47"E 204.01 feet along the West line of said Lot 2; thence N40°23'10"E 282.27 feet along the West line of said Lot 2; thence N4°14'32"E 266.98 feet along the West line of said Lot 1; thence N20°06'00"W 82.55 feet along the West line of said Lot 1; thence N32°15'58"E 352.00 feet along the West line of said Lot 1; thence S63°24'58"E 1713.59 feet along the Northeast line of said Lot 1; thence S18°47'17"W 45.42 feet along the East line of said Lot 1; thence S63°24'58"E 65.61 feet along the Northeast line of said Lot 1; thence S18°47'20"W 657.68 feet along the West right-of-way line of Bellevue Street to the point of beginning.

This parcel contains 3,028,437 square feet, or 69,523 acres.

That such map is a correct representation of the exterior boundaries of the land surveyed and the division thereof.

That I have fully complied with provisions of Section 236.34 of the Wisconsin Statutes and the subdivision regulation of the Village of Bellevue in surveying, dividing and mapping the same.

Benjamin J. Reenders Dated this 28th day of April, 2021
Benjamin J. Reenders PLS S-3114



OWNER'S CERTIFICATE OF DEDICATION

Crystal Cove, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this plat to be surveyed, divided, and mapped as represented on this plat.

Crystal Cove, LLC, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Wisconsin Department of Administration
Village of Bellevue
Brown County Planning Commission

Crystal Cove, LLC

Ryan Van Straten, Sole Member

STATE OF WISCONSIN) SS
BROWN COUNTY)

Personally came before me this _____ day of _____, 2021, Ryan Van Straten of the above named limited liability company, to me known to be the person who executed the foregoing instrument, and to me known to be such Sole Member of said limited liability company and acknowledged that they executed the foregoing instrument as such officers as the deed of said limited liability company, by its authority.

Notary Public _____

My Commission expires _____

VILLAGE OF BELLEVUE RESOLUTION

Resolved that this plat titled "CRYSTAL COVE" located in the Village of Bellevue, being developed by Crystal Cove, LLC, is hereby APPROVED by the Village Board of the Village of Bellevue.

Village Clerk _____ Date _____

CERTIFICATE OF VILLAGE TREASURER

I, _____, being the duly appointed, qualified and acting treasurer of the Village of Bellevue, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of _____, 2021, on any of the lands included in CRYSTAL COVE.

Dated this _____ day of _____, 2021.

Village Treasurer _____

CERTIFICATE OF COUNTY TREASURER

I, _____, being the duly elected, qualified and acting treasurer of Brown County, do hereby certify that in accordance with the records in my office, there are no unredeemed tax sales or no unpaid taxes or special assessments as of _____, 2021 on any of the lands included in CRYSTAL COVE.

Dated this _____ day of _____, 2021.

County Treasurer _____


BROWN COUNTY PLANNING COMMISSION RESOLUTION

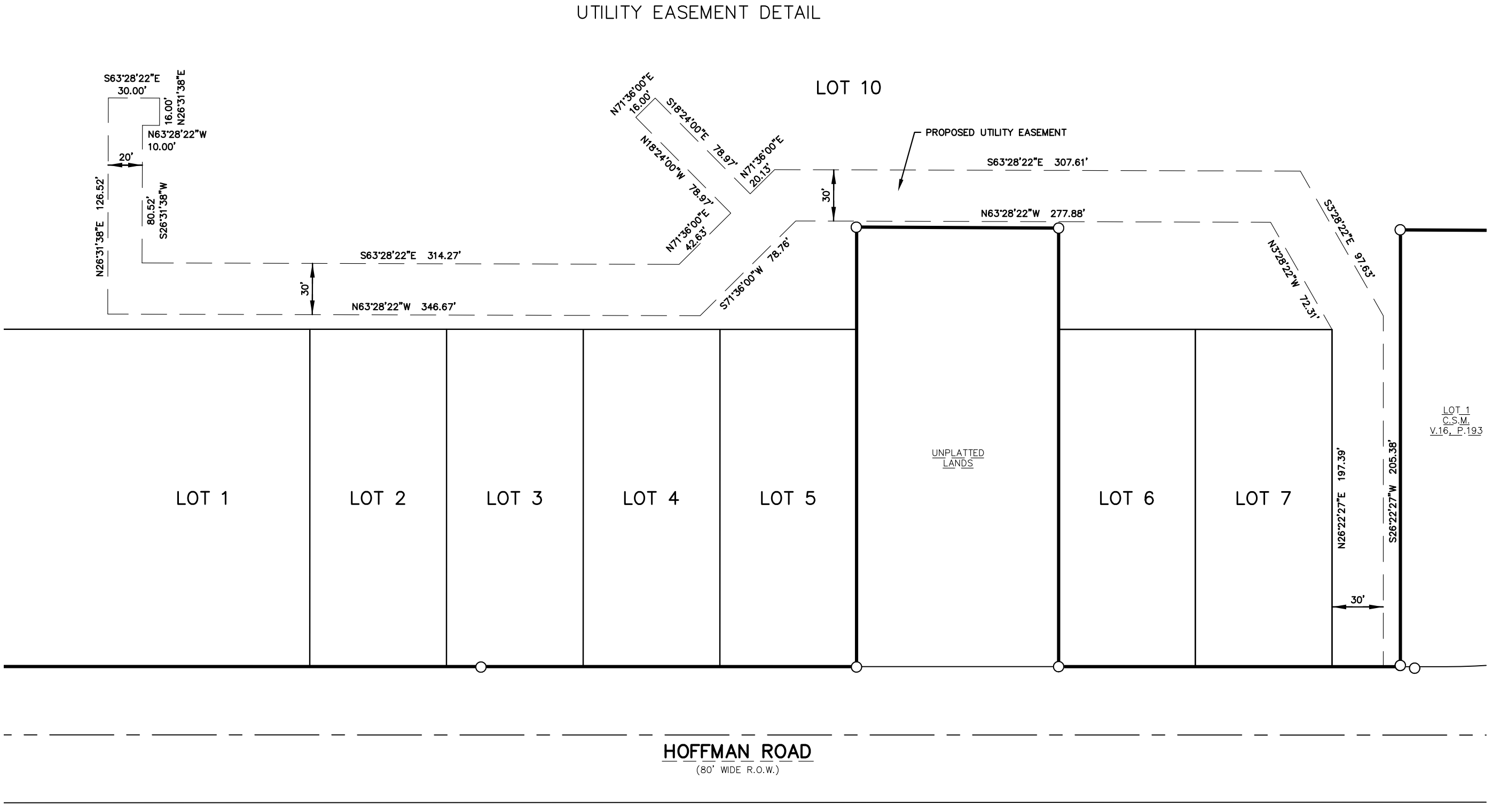
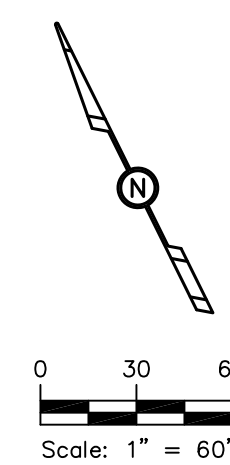
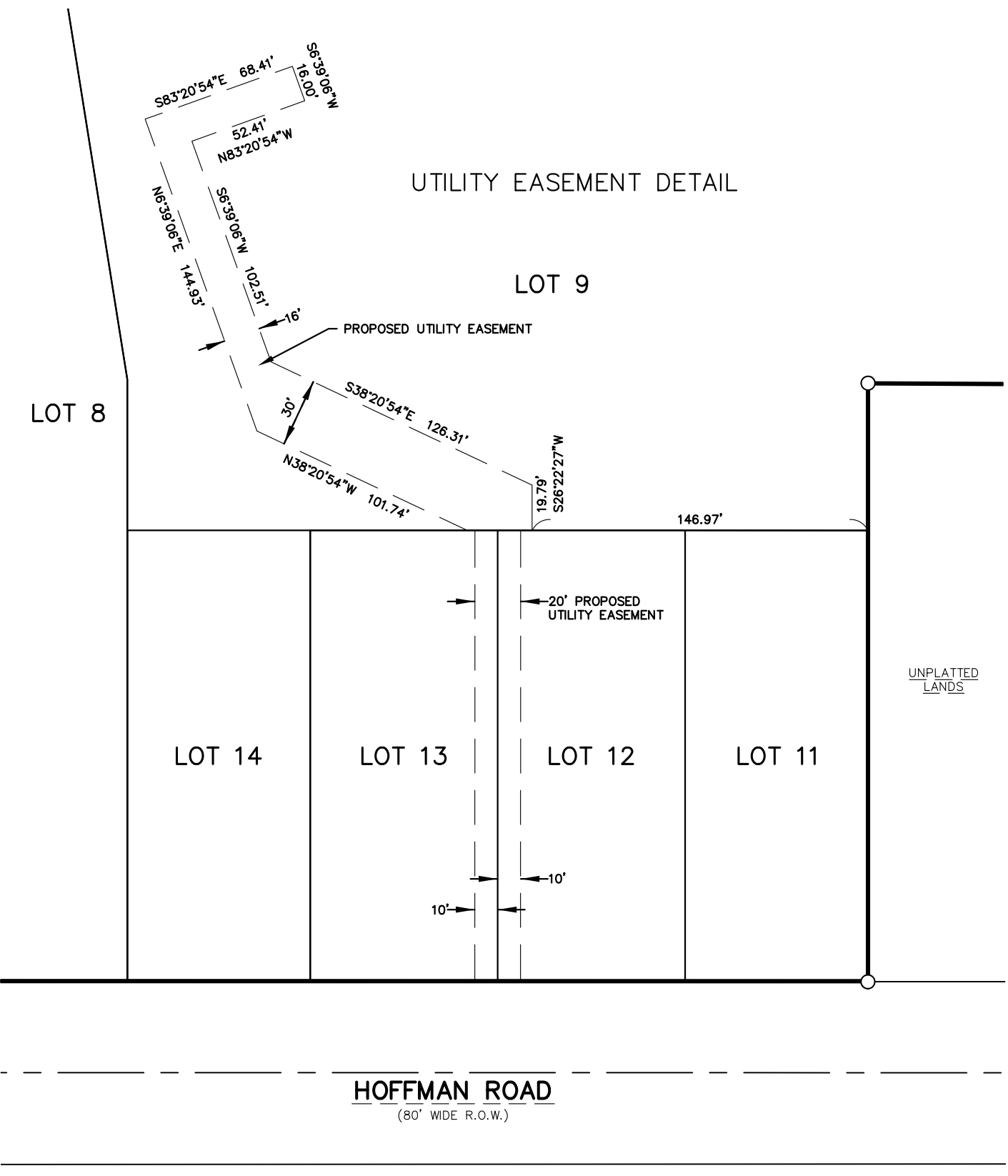
Resolved that this plat titled "CRYSTAL COVE" located in the Village of Bellevue, being developed by Crystal Cove, LLC, is hereby APPROVED by the Brown County Planning Commission.

Senior Planner _____ Date _____

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration 




941 Center Avenue, Suite 1
Oostburg, WI 53070
920-547-0599
www.cedarcreeksurveying.com

FILE: 2020130 DATE: 4/27/2021 SHEET 2 OF 2
REVISION: PLAT BOUNDARY 05/21/2021

COMMUNITY DEVELOPMENT ITEM REVIEW SHEET

Date: 5/25/2021
Case Number: PLAT 2021-0003
Anticipated Planning Commission Date: 6/2/2021
Comments Due back to Planning: ASAP
Planner Assigned: Andrew J. Vissers
Reviewer: Thad Majkowski
Department: Public Works
Applicant/Contact: Ryan Van Straten (Alliance Management) 920-562-1481
Description: Final Plat of Crystal Cove (Crystal lake Apartment Development)

1. Wetlands are shown per the GIS Mapping, are they going to be delineated and to include the entire Site?

2. The 100 YR Floodway elevation should be shown on the Plat.

3. Utility Easements - There is no definition of the easement, what is included and purpose. It appears they are over the sanitary sewer/water mains. Those utilities are proposed as Private. Just want to make sure the easement does not mislead anyone to thinking they are Public or going to be in the future. The easement may allow Village staff to enter and review the maintenance but no responsibility.

4. If the lots 8, 11-14 are going to be donated to the Village, why are they being split at this time? if so and the sanitary sewer/water main is being extended from Hoffman Road, then an easement will be required for the Private mains.

5. Are there any needs for storm water easements along the property lines to construct the facilities to prevent any runoff impacting the existing homes on the south and east sides or the proposed donated lands to the Village.

COMMUNITY DEVELOPMENT ITEM REVIEW SHEET

Date: 5/25/2021
Case Number: PLAT 2021-0003
Anticipated Planning Commission Date: 6/2/2021
Comments Due back to Planning: ASAP
Planner Assigned: Andrew J. Vissers
Reviewer: Adam Waszak
Department: Parks, Recreation & Forestry
Applicant/Contact: Ryan Van Straten (Alliance Management) 920-562-1481
Description: Final Plat of Crystal Cove (Crystal lake Apartment Development)

Street Tree Fee Estimate (Attached). No other comments.
